

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING STAFF REVIEW AGENDA
Wednesday, July 1, 2020 – 3:00 PM
REMOTE Meeting: Instructions Below**

Remote meeting information:
July 1 VBT Planning Staff Review Meeting: Jiffy Lube PSP / SLU
Wed, Jul 1, 2020 3:00 PM - 4:00 PM (PDT)

Please join my meeting from your computer, tablet or smartphone.
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Time: 3:00 pm

Case Number: 20-012

Title: Jiffy Lube- Preliminary Site Plan / Special Land Use review

Address: 9701 Belleville Road

Topics

- Brief Land Division Discussion
- Planning Comments (report enclosed)
- Engineering Comments (report enclosed)
- Fire Department Comments
- DDA Comments



Charter Township of Van Buren
Planning Department
46425 Tyler Road
Belleville, Michigan 48111

File No.: VBT 20-012-SPR#1, Jiffy Lube / 9701 Belleville
Review: Site Plan Review #1
Plans Dated: May 20, 2020 (recd. by Township on May 26, 2020)
Review Date: June 23, 2020

The applicant, Jiffy Lube International, Inc., proposes to construct a 3,064 square foot building to offer light automotive service repairs, including oil changes, replacement/ replenishment of lubricants, replacement of light bulbs, tire services and battery testing. The site is one of the outlots of Meijer, located on the south side of Tyler Road, between Belleville Road and Morton Taylor Road.

COMMENTS. We have reviewed the site plan and special land use request based on Zoning Ordinance standards and sound planning and design principles. Our comments are as follows (items requiring changes or additional information are underlined):

Site Plan Review Comments

1. **Zoning and Use.** The site is currently zoned C-2 (Extensive Highway Business District). Section 3.112 of the Zoning Ordinance permits vehicle service (minor) as a special land Use in the C-2 Extensive Highway Business District.
2. **Required Information.** Section 12.203 of the Zoning Ordinance includes requirements for information on a site plan. The following items must be included on the site plan:
 - Notation of any required Township, County, or State permits.
3. **Lot.** The application has indicated that the site is a total area of 0.72 acres. The legal description is included with the tax parcel ID number.
4. **Specific Approval Criteria for Vehicle Service [Section 5.141]:** The following item must be addressed:
 - a. **The minimum frontage on any one (1) public street shall be at least one hundred fifty (150) feet.** The outlot has a width of 141.9 feet, 9.1 feet short of what's required. This issue needs to be resolved through acquisition of additional land to meet the width requirement.
5. **Dimensional Requirements.** There is no required minimum lot area or width in the C-2 Extensive Highway Business District.

The minimum required front, rear, and side yard setbacks for the C-2 District is 35 feet, 20 feet, and 25 feet respectively. The proposed building location complies with all the setback dimensions.

Maximum permitted building height in the C-2 District is 4 stories and 40 feet. The elevations proposed indicate a building height of 22 feet and 2 inches, compliant with the Zoning

Ordinance.

6. Access and Circulation.

- a. **Location of Curb Cuts.** Access to the proposed facility will be provided via the existing driveway off Tyler Rd, with a cross access drive proposed to connect to the existing driveway, which provides access to the Meijer Express Gas Station. The access drive has a proposed width of 24 feet with a lane each for ingress and egress.
- b. **Cross Access.** Access to the site is being provided through a cross access drive.
- c. **Sidewalks.** The site has an existing sidewalk along its Tyler Road frontage. The plan proposes the construction of a sidewalk connection from the public sidewalk to a new sidewalk on the west side of the proposed building. The connector creates a plaza area along Tyler Road and subsequently narrows to 5 feet. The plaza area is to be installed with two benches and a trash receptacle.

7. Parking and Loading.

- a. **Space Dimensions.** Parking spaces on the site are dimensioned at 9.5 feet wide by 20 feet long, compliant with the Zoning Ordinance.
- b. **Number of Parking Spaces.** The parking requirement is one (1) space for every two (2) service stalls one (1) for each employee in the largest shift. With 4 proposed service stalls, at least 8 parking spaces are required in addition to one (1) for each employee in the largest shift. The site plan must include notation of the number of employees in the largest shift. The site plan includes a total of 9 parking spaces. Four (4) additional spaces are shown in front of the overhead doors on the west side of the building and are counted towards parking spaces, which is not acceptable. The overhead doors serve as a one way exit from the building's service bays, and required parking cannot be striped to block the circulation path. Also, clarify if the plan is to eliminate half of a row of parking for Meijer that is on the south end of the outlot.
- c. **Barrier Free Spaces.** The plan proposes one (1) barrier free space which is ADA compliant; however, the ramp location must be clearly labeled.
- d. **Loading.** As the proposed building is between 0 – 10,001 sq. ft., one (1) 10' x 25' loading space is required. The required loadings pace must be clearly dimensioned on the site plan.
- e. **Bicycle Parking.** Chapter 3 of Article 6 provides standards for buildings within the Belleville Road Overlay District (BROD). Per this chapter, one (1) bicycle parking space shall be provided for each twenty-five (25) vehicle parking spaces or fraction thereof. With 9 proposed parking spaces, one (1) bicycle parking space is required and has been proposed along the building front, compliant with the Zoning Ordinance.

8. Landscaping and Screening.

The site is located in the Extensive Highway Business (C-2) district. All sites are strongly encouraged to exceed Zoning Ordinance minimums for landscaping, site design, and building appearance among others. Our comments on individual landscaping requirements are reflected in the following comments:

- a. **Landscaping Adjacent to the Right-of-Way.** Section 10.103(A) requires lot frontage landscaping of 1 deciduous tree/40 lineal feet + 1 ornamental tree/100 lineal feet + 8 shrubs/40 lineal feet. The site has a frontage of 142' on Tyler Road, which requires a total of 4 deciduous trees + 2 ornamental trees + 28 shrubs. The landscape plan proposes 4

deciduous trees + 0 ornamental trees + 9 shrubs along the road frontage on Tyler, deficient of ordinance requirements. Section 6.310 (C) (2) (b) states; In addition to the trees required in the frontage area in Section 10.103(A), deciduous street trees shall be planted within the right-of-way of any streets (i.e., between the sidewalk and the street), in an amount equal to at least one (1) deciduous street tree per each forty (40) linear feet or fraction thereof of frontage. This requires another 4 trees between the Tyler Road right-of-way and the existing sidewalk, which has not been provided.

- b. Parking Lot Landscaping.** Section 10.103(B)(1) requires all parking lots to be landscaped and screened from adjoining public or private rights-of-way. Landscaping shall include a landscaped yard at least five (5) feet in width containing an opaque screen of landscaping (evergreen or deciduous hedge) at least three (3) feet in height. As the majority of the parking lot is behind the proposed building, we find that it is adequately screened from Tyler Road. However, the handicap accessible space on the northeast corner of the building is clearly visible from Tyler Road and must be screened as required.

Interior parking lot landscaping. Section 10.103(B)(2) requires the provision of landscaping within islands in a parking lot. Interior landscaping shall account for a minimum of five percent (5%) of all paved parking areas, including parking and loading spaces, driveways, and aisles. The applicant must provide the square footage of all paved areas, including parking and loading spaces, driveways, and aisles. There are multiple interior parking lot islands throughout the development. The applicant must provide the total proposed square footage of all the interior parking lot landscape islands. Additionally, one (1) deciduous tree shall be planted for each three hundred (300) square feet of interior landscaping. Compliance with this standard will be determined when the applicant submits the information required above.

- c. Loading Area Landscaping.** Section 10.103 (C) of the Zoning Ordinance requires an opaque wall or a greenbelt for required screening. The site plan does not provide the location of a loading zone and compliance with this standard will be determined when the applicant details a loading zone on a newly submitted site plan.
- d. Display Area Buffering.** This requirement is not applicable.
- e. Greenbelt Buffering.** Section 10.103 (E) provides greenbelt buffering standards. A ten (10) foot wide buffer, with one (1) tree per thirty (30) linear feet is required on all sides of the proposed development. A 10-foot-wide buffer has been provided on all sides except the east side lot line. With 142 linear feet on the front and rear lot line, 5 greenbelt trees are required; 4 trees have been proposed in the front and 2 trees in the back. Additionally, 6 trees are required along the west side lot line and 7 trees are required along the east side lot line, but none have been proposed along either lot line. The greenbelt along the east lot line and all of the required trees must be included on a revised plan.
- f. Detention Pond Landscaping.** The site plan includes a proposal to incorporate a bioretention area into the development. The proposed drainage system is subject to review and approval by the Township Engineer and Wayne County. Any planting around the drainage areas are under Wayne County's jurisdiction. The planting plan for this area must be provided and approved by the County.
- g. Specific Landscaping for C-2 Zoning District.** Developments in the C-2 District require contiguous outdoor space, independent of sidewalks, pedestrian circulation areas and required landscaping, in an amount not less than one (1) square foot for each twenty-five (25) square feet of principal building and in no case less than two hundred fifty (250) square feet in total. Based on the building size the required open space is under the 250 sq. ft.

threshold so 250 sq. ft. of open space is the minimum required for the site. The plan notes the provision of 11,191 square feet of open space; however, it is unclear which areas were included in this number. Clarify.

h. BROD Landscape Standards. Section 6.310 provides landscape standards for development projects within the BROD. Some of these standards are discussed in their respective landscape standards above. The following additional points need to be addressed on a revised plan:

- Perennial beds, planted in groups, shall be planted in twenty percent (20%) of the required landscape frontage area defined in Section 10.103(A).
- A minimum eight (8) foot street lawn, five (5) foot wide sidewalk, and five (5) foot buffer area between the off-street parking and/or vehicular use area and the sidewalk shall be provided. The street lawn shall include trees in accordance with Section 6.310(C)(2). The five (5) foot buffer area shall extend the length of the parking lot, and include an opaque screen of landscaping at least three (3) feet in height. The opaque landscape screen shall be composed of upright shrubs planted as a hedge. The hedge shall attain opacity and a height of three (3) feet within twelve (12) months of planting under normal growing conditions.

Since the landscape requirements are extensive and involve requirements from various Ordinance sections, we recommend that the applicant include a list with each requirement on the landscape plan and note how the requirement is being met.

9. Tree Removal Permit. A tree removal permit is required if the applicant proposes to remove any trees of 5" caliper or larger. The site includes a row of established trees along its Tyler Road frontage. The rest of the site is a grassy area. Clarify is any of the frontage trees are to be removed.

10. Stormwater Pond. As previously stated, the proposed development is to contain a bioretention area. Storm water detention calculations are subject to review and approval by the Township Engineer and Wayne County.

11. Lighting. The photometric plan indicates several wall mounted fixtures on the building façade and a single pole fixture on the south side of the site. Standards from Section 8.105 and 6.309 (D) apply. The following items must be addressed:

- a. Manufacturer's cut sheet details for proposed wall and pole mounted fixtures with shielding must be provided.
- b. The light pole location must be shown on the site and landscape plans.
- c. The illumination intensity must comply with the requirements of Section 8.105 (B) (2). There are several examples of where the proposed average illumination of the area exceeds what's permitted.
- d. Light fixtures within parking lots that are not located in a landscape island or median shall be designed with raised bases to protect them from damage by vehicles. The light pole in the parking lot appears to be proposed right on the curb. If it is not proposed to be within the landscape island it must be designed with a raised base. Additionally, the applicant must clarify that the location of the proposed light pole will not affect the bioretention area.

12. Architecture and Building Details. The applicant has submitted detailed elevations for the proposed building. The structure is to be constructed of 'thin brick' masonry veneer and provided with an EIFS cornice and metal cap. The east and west facades have several overhead doors, while the north façade facing Tyler Road has 3 windows.

The site is part of the Belleville Road Overlay District, the Township's primary business district. The Planning Commission has consistently required a high standard of design for developments in this area. Chapter 3 of Article 6 provides standards for buildings within the Belleville Road Overlay District (BROD). The following items from Chapter 3 of Article 6 must be addressed:

- a. Details of the proposed benches in the front plaza area must be provided.
- b. Decorative special paving shall be used to enhance site design but should be used as an accent and should serve a specific purpose. It appears the proposed sidewalk within the front yard may incorporate decorative paving but clarification is required.
- c. Awnings and overhangs shall be used in conjunction with street trees to provide shade for pedestrians. It appears the applicant is proposing awnings as they are labeled on the sign plan but they are labeled as "sign canopy" on the elevations. Please clarify.
- d. Nonresidential buildings shall have a minimum of fifty (50%) glass at the ground floor level facing a street, with other exterior wall surfaces at upper stories not exceeding fifty (50%) glass. The proposed elevations do not comply.
- e. The intent of the BROD is to avoid developments with architectural elements that look applied, rather than incorporated. For example, building facades that incorporate canopies must provide a pitched roof component to provide depth and give an authentic appearance. The proposed architecture does not meet BROD standards. The use of thin veneer face brick is not acceptable. True brick, stone and other similar high-quality materials must be incorporated on a façade that has details in the form of banding, columns etc. As proposed the structure lacks visual appeal.

The proposed elevations for a building located at the entrance to a major store in the principal shopping district within the Township is not acceptable. The elevations would need a complete revision to incorporate some roof pitch details, higher quality materials, different design overhead doors that integrate into the building design and complete façade enhancement.

- 13. Dumpster.** A dumpster pad location has been labeled on the site plan in the southwest corner of the site. However, the details for this dumpster enclosure has not been included. Typical details showing a masonry (brick) enclosure with steel reinforced wood gates and bollards must be noted. We have concerns that the location of the dumpster places it in direct view of the main entrance into the Meijer site off Tyler Road.
- 14. Signs.** The applicant is proposing one monument sign, eight wall signs, and five incidental exit/entry signs. The entry/exit safety signs are considered as exempt signage. The proposed monument sign exceeds the maximum height permitted. The sign also exceeds the maximum area for monument signs for a lot with less than 200 feet of frontage. A total of 100 sq. ft. of wall signage is permitted for the site. The eight proposed wall signs greatly exceed this 100 sq. ft. of permitted wall signage. The Jiffy Lube multicare fascia sign alone exceeds the 100 sq. ft. limit. As the sign area is measured by the outer perimeter forming the rectangle including the open space between the "jiffylube multicare" sign and the "Pennzoil" sign, the proposed wall signage greatly exceeds what's permitted on the site. Signage must be revised to comply with Ordinance requirements.
- 15. Other.** The plan proposes no screening around the transformer shown on the northeast corner of the site.

June 26, 2020
Fishbeck Project No. 200630

James Taylor
Director of Water and Sewer
Van Buren Township
46425 Tyler Road
Van Buren Township, MI 48311

Jiffy Lube Preliminary Staff Meeting – Review

Dear James:

At the request of Van Buren Township (Township), Fishbeck has reviewed the Conceptual Site Plan submitted to the Township for the preliminary staff meeting for the proposed Jiffy Lube located near the southeast corner of Tyler Road and Belleville Road next to the Meijer parking lot.

This project entails construction of a retail automotive quick oil change facility at parcel no. 83058990006707. The plans include construction of a new 3,064 square-foot building, construction of a 8-space asphalt parking lot with reconstruction of a north portion of the existing Meijer parking lot; two access driveways connecting to the Meijer parking lot; construction of storm water improvements including a bioretention swale, pretreatment system, and an underground storage system; construction of a sanitary sewer system; and other various site plan improvements.

Our review comments are as follows:

General

The following items are general requirements established as part of the Engineering Standards Manual, Charter Township of Van Buren (April 2014). The applicant must include the following items as part of the construction plans:

1. According to the plans, the parcel boundary lines are based on a field survey completed by DLZ dated 4-21-2020. If the parcel as it is currently drawn on the plans has not been recorded at the time of plan submittal, applicant must include the existing parcel legal description and show existing parcel dimensions on the plan view.
2. Plans indicate that the address of 9701 Belleville Road is for the Meijer Store located on the parent parcel. Applicant to supply the development parcel address when available.
3. Plans must indicate relocating and/or addressing the existing overhead utility poles. Plans must indicate the location of proposed relocated overhead utility poles if within the project area.
4. Any irrigation will be required with the submittal of the Engineering Plans.
5. All easements, proposed and existing, must be indicated on the plans.
6. All benchmark information must be listed on the plans with all elevations listed in National Geodetic Vertical Datum 29 (NGVD 29) or include a conversion factor to the NGVD 29 datum.
7. Applicant to verify compliance with Township planning department regarding the removal of 14 parking spaces from the adjacent Meijer parking lot.
8. Applicant must indicate overland stormwater flow route. Showing the pre and post development drainage patterns.
9. Soil boring information, including the ground water elevations, must be provided.

10. Plans must include the following required notes:
 - a. All construction shall conform to the current standards, specifications, and general conditions of the Township.
 - b. The applicant is responsible for resolving any drainage problems on adjacent properties which are the result of the applicant's actions.
11. Engineering Plans must include the applicable Standard Detail Drawings as found in Appendix A of the Township *Engineering Standards Manual*. The Township can provide full size sheets of multiple details upon request.

Water Main Service

Existing: The Township's Geographic Information System (GIS) records indicate a publicly owned 12-inch cast iron water main running east-west along the north side of Tyler Road and two (2) 42-inch water mains running east-west along Tyler Road, which are owned and maintained by the Great Lakes Water Authority (GLWA).

Proposed: The applicant's plan proposes crossing Tyler Road with a 1¼-inch copper type K water service line from the 12-inch Township main to the proposed building.

Comments:

1. Applicant must show both existing GLWA water mains along Tyler Road. Plans currently only show one GLWA main.
2. A minimum size of two inches shall be required for commercial or industrial developments.
3. Any crossing of the existing GLWA water main(s), will require permit review and approval by GLWA. The Township can supply GLWA Permit contact info upon request.
4. Applicant must verify the type, if any, of fire service connection needed and whether the building will include sprinklers.
5. No part of any building or structure shall be more than 250 feet from a hydrant. The distance shall be measured along the shortest feasible exterior route for laying fire hose. Applicant must indicate location of closest existing hydrant or show extension of existing water system to provide proper adequate coverage, as approved by the Township Fire Marshal.

Sanitary Sewer

Existing: The Township's GIS records indicate that the closest sanitary sewer is a public 10-inch clay sanitary sewer running north-south along the east side of Belleville Road.

Proposed: The applicant's plan proposes a privately owned 6-inch sanitary sewer service connecting to a proposed manhole at Tyler Road, which will connect to the existing 10-inch sanitary sewer along Belleville Road via a proposed 10-inch sanitary sewer running east-west on the south side of Tyler.

Comments:

1. The internal discussion is still ongoing on the capacity and connection to the existing public 10-inch clay sanitary sewer along Belleville Road. Discussion will continue and further information will be provided at the Staff Review Meeting.
2. The Township has concerns with the ability to construct the sanitary sewer as currently proposed, due to existing utilities, above ground features, and the overall intersection configuration of Tyler Road and Belleville Road [See Image #1].
3. Applicant must complete a full topographic survey of the intersection, including but not limited to: existing utilities, manhole inventories, above ground site features, and conduct a private utility investigation (Miss Dig). Applicant must then indicate the method in which they plan to construct the sanitary sewer within the footprint of the existing features.

IMAGE #1



4. The 6-inch sewer service lead must tap into the proposed 10-inch sanitary sewer line downstream of the proposed manhole via a wye branch. Service connections cannot tap directly into manholes.

Storm Sewer

Existing: The Township's GIS records indicates a publicly owned 18-inch stormwater pipe running east-west along the south side of Tyler Road, conveying stormwater east. Separately, the majority of the Meijer parking lot development collects stormwater through a series of catch basins, ultimately discharging into an on-site detention basin.

Proposed: The applicant proposes collecting the on-site stormwater runoff through a series of new catch basins and storm sewers, which work in conjunction with a bioretention swale, a pretreatment system, and an underground storage area. The underground storage is proposed to outlet into the existing Wayne County owned stormwater manhole on the south side of Tyler Road.

Comments:

1. Calculations for the design of the storm sewer system must be provided in accordance with the Township Design Standard Manual. The maximum allowable discharge in the Township for detention basins in 0.1 cfs/acre.
2. Applicant must submit for stormwater approval from Wayne County prior to the Township accepting submission for Engineering and Final Site Plan approval. The Township will request to see that Wayne County has reviewed and commented on the stormwater system prior to reviewing the system itself.
3. Applicant shall design storm sewer system to have minimum cover of 4 feet above all storm sewers wherever possible. An absolute minimum cover of 2.5 feet is allowable, upon approval from the Engineer. Roof drain cover must be indicated on plans.

Paving and Grading

1. Flow arrows on the grading plans shall indicate general slopes of the area, verifying that minimum and maximum slopes/grades allowable by the Township Engineering Standards Manual are met.
2. As part of the Engineering review process, the applicant will be required to provide more detailed grading plans that indicate detailed ramp grades for sidewalk ramp areas needing to comply with the Americans with Disabilities Act 2010 (ADA).
3. Truck turning movements must indicate full paths of all wheels of the largest truck anticipated onsite.

Soil Erosion and Sedimentation Control

1. The SESC plan provided must be in accordance with the Township *Engineering Standards Manual*, Chapter II, Plan Requirements, Paragraph D, SESC Plan Requirements, and in accordance with Wayne County SESC standards. A permit must be acquired from the Wayne County SESC County Enforcing Agency. <https://www.waynecounty.com/departments/environmental/landresources/soil-erosion.aspx>

Recommendation

We offer no objection to the applicant moving forward to the preliminary site plan approval process, subject to the applicant determining the proper course of action for the comments listed above, prior to the next submittal to the Township. If you have any questions regarding this project, please contact me at 248.324.2137 or pkammer@fishbeck.com.

Sincerely,



Paul J. Kammer, PE
Senior Civil Engineer



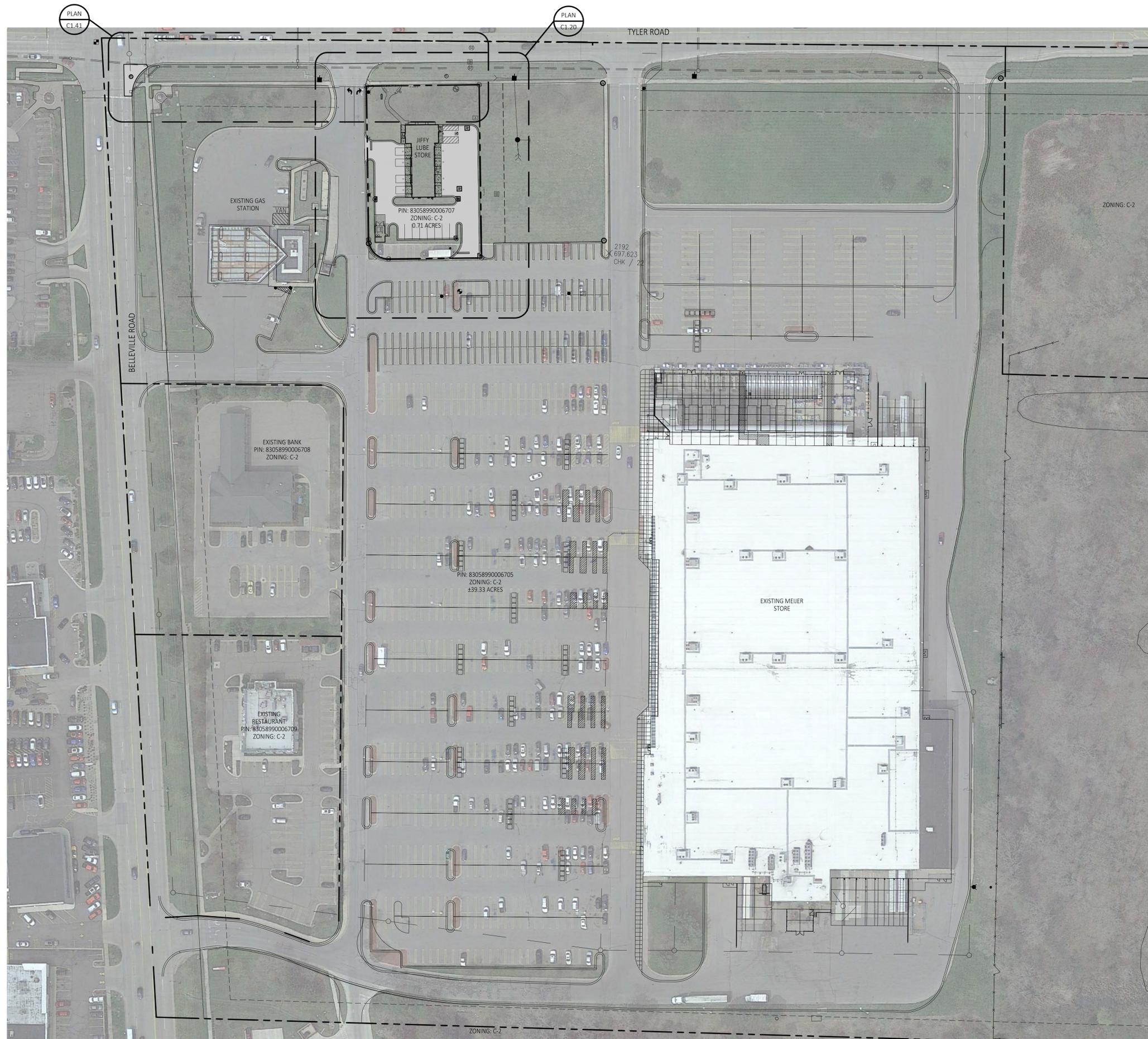
Stephen C. Clayton, PE
Civil Engineer

By email

Copy: Matthew Best – Township
Dan Power – Township
Vidya Krishnan– McKenna
Dave Potter – Fishbeck

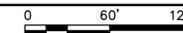
Excerpts – Site plan set dated 5/18/20

FILE NAME: \\Share\clients\jiffy_lube\Projects\MI072_Belleville Road\02_Civil\ComDocs\C1.02.dwg LAST SAVED BY: Chiss, Well SAVED DATE: 5/19/2020 3:06 PM PLOTTED: 5/21/2020 10:05 AM



COMPOSITE SITE PLAN - CONSTRUCTION

SCALE: 1" = 60'-0"



sevan
ENGINEERING

Regional Office:
37704 Hills Tech Drive
Farmington Hills, MI 48331
734.367.4445 Telephone

Corporate Office:
3025 Highland Parkway, Suite 850
Downers Grove, IL 60515
Info@sevan.com www.sevan.com

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REVISIONS

NO.	DATE	DESCRIPTION
0	05.01.2020	OWNER REVIEW
1	05.20.2020	SITE PLAN REVIEW

CONSULTANT



SEAL



CUSTOMER



PROJECT DESCRIPTION

**JIFFY LUBE
MULTI-CARE SERVICES**

PROJECT LOCATION

**9701 BELLEVILLE RD
VAN BUREN CHARTER
TOWNSHIP, MI 48111**

(WAYNE COUNTY)

SHEET TITLE

**COMPOSITE SITE PLAN
CONSTRUCTION**

SHEET MANAGEMENT

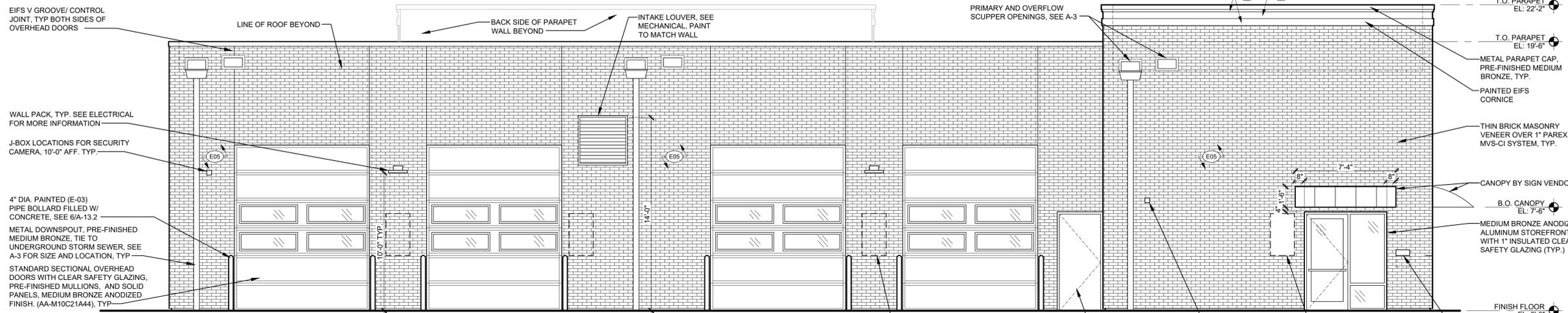
PROJECT NO.: 072_BELLEVILLE
DATE: -
CRITERIA: -
PROJECT MANAGER: M. PISKO

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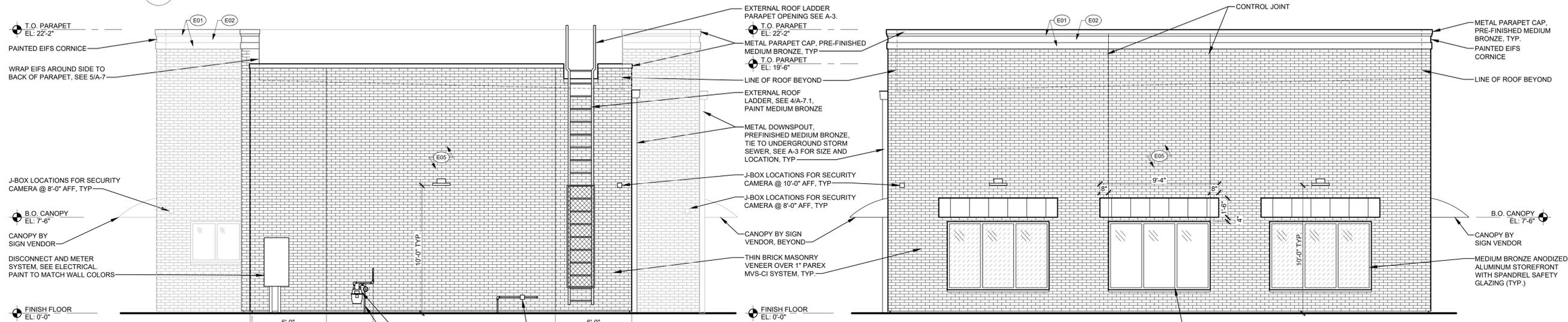
SHEET NUMBER

C1.02



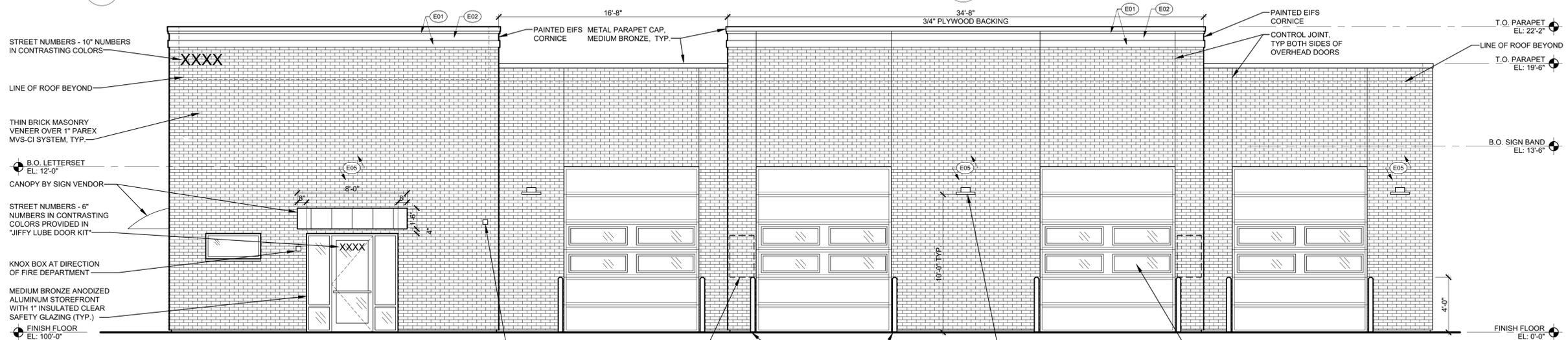


4 REAR ELEVATION
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"

3 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

MARK	EXTERIOR FINISH SCHEDULE:	MATERIAL	MFR #	COLOR
E01	EXT. WALLS: WAINSCOT / SIGN POLES / FENCES / EXT. DOORS AND TRIM	PAINT (SATIN / SEMI-GLOSS)	SW2827	COLONIAL REVIVAL STONE
E02	EXT. WALLS ABOVE WAINSCOT	PAINT (SEMI-GLOSS)	SW7005	PURE WHITE
E03	EXT. WALLS: REAR FASCIA / HANDRAILS / GUARD RAILS / TRAFFIC BOLLARDS	PAINT (SEMI-GLOSS)	SW6314	LUXURIOUS RED
E04	EXT. WALLS: APPLY OVER CARMINE COLOR ABOVE	PAINT (SEMI-GLOSS)	CLEAR COAT	SHER-CLEAR
E05	EXT. WALLS: THIN BRICK VENEER	PAINT (SEMI-GLOSS)	BRICKIT	OLD RED BLEND WIRECUT

GENERAL NOTE:
 1. ALL COLOR NAMES INDICATED ARE FOR SELECTION PURPOSES ONLY. SEE PAINT SPECS FOR SPECIFIC REQUIREMENTS. DESCRIPTION: (ALL "SHERWIN / WILLIAMS" NUMBERS "SW" COLORS)
 2. APPLY CLEAR COAT (E-04) OVER RED (E-03) ON EXTERIOR APPLICATIONS.
 3. ALL SIGNAGE SHOWN IS FOR ILLUSTRATION PURPOSES ONLY. ALL SIGNAGE IS UNDER SEPARATE PERMIT AND FINAL DESIGN IS BY SIGNAGE VENDOR.
 4. ALL SECURITY CAMERA LOCATIONS ARE FOR ILLUSTRATION PURPOSES ONLY. ALL FINAL LOCATIONS TO BE COORDINATED WITH SECURITY VENDOR.



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jiffylube
 MULTI-CARE SERVICES
 CRITERIA V2019.07-1X4
 BELLEVILLE, MI.
 9701 BELLEVILLE RD.

REVISIONS

NO.	DESCRIPTION



Drawn /Checked By: XXX / XXX
 Project Number 920374
 Bid Date XXXX
 Permit Date XXXXX

EXTERIOR ELEVATIONS
A-4