



Van Buren Township
8470 Belleville Road
PROJECT OVERVIEW
PC- 9/9/2020



WHAT IS CLOVER INDEPENDENT LIVING?



- Clover provides a market rate alternative for senior (55+) Independent Living for those residents who no longer desire to own but do not want to move into an expensive full service retirement community.
- Our senior residents typically come from a five mile radius around the Community. They prefer to stay in the area to be close to family and friends.
- Our developments allow for these senior citizens to remain in the community that they grew up and raised their families in, to continue attending their place of worship, to enjoy their local restaurants and entertainment facilities, and to continue seeing their own doctors which in turn contributes to the economic welfare of the community.

What is different about a Clover Independent Living Project?

We are a market rate, senior community that services the niche that does not want to have the expensive feature of having dining required to live in a retirement community. Our residents enjoy a full kitchen in their unit in addition to a washer and dryer. Our residents enjoy living in a retirement community without the large monthly rent that typically accompanies living in an Independent Living project.

IMPORTANT FACTS



- We don't impact peak traffic. Our residents control their schedules and can choose when they want to be on the road. Typically our peak hour is between 2 pm and 3 pm with a traffic count of 7 cars per hour during that timeframe. Obviously if that timeframe coincides with the peak traffic flow of a nearby use, our residents can and do adjust their schedule.
- We pay full property tax on our projects but have no impact at all on the school districts.
- We don't have dining or healthcare so we do not have employee traffic throughout the entire day and night.
- We restrict trash pickup to normal work day hours.
- We comply with the Fair Housing Rules and Regulations. Those regulations provide an exception for being able to age-restrict a property to 55+. Our criteria to lease is set that no one may live in the complex if they are not over 55 years old.

WHAT IS CLOVER INDEPENDENT LIVING?



Typical Property Features

- TV monitored and controlled building entry system
- Steel, dead bolt entry doors
- Sprinkler system in each apartment and throughout common areas
- Elevator service
- Planned activities
 - Monthly Newsletter
 - Wii Bowling League
 - Day Trips (shows, etc.)
 - Bible Studies
 - Movie Night
 - Holiday Parties
 - Ice Cream Socials
 - Bingo
 - Group Exercise
 - Safety Seminars
- Central, indoor mail system
- Conveniently located indoor trash facilities
- A Clover Independent Living community typically provides
 - a **community room w/ kitchen, library, and back patio area** on the 1st floor;
 - a **family room, exercise room, and beauty salon** on the 2nd floor;
 - a **game room** on the 3rd floor
 - 2 **trash collection areas** are provided on each floor; and
 - 2 **central laundry facilities** in addition to the in unit washers and dryers.
- Water, sewer, heat, cable, and trash are included in the rent.

TYPICAL UNIT INFORMATION



Typical 1
Bedroom Unit



Typical 2
Bedroom Unit

Typical Unit Amenities

- Emergency Pull Cords in each Unit
- Plush wall to wall carpeting
- Individually controlled heat and A/C
- Modern kitchen with breakfast bar and pantry
- Stainless Steel Appliances including refrigerator, microwave, range and dishwasher, in-unit washer and dryer
- Walk in showers
- Master bedroom
- Slider patio doors
- Private, covered patio or balcony

Special Use - Independent Senior Living

- Senior Housing is a Special Land Use in the C-2 District.
- Senior housing is an identified need in Van Buren Township. Senior Housing Ordinance was adopted in 2020 to promote and prepare for senior housing.
- Clover Group develops, builds, and manages senior independent living for persons 55 and older. Clover has over 160 developments from Missouri to New York.
- The location at 8470 Belleville Road provides access to major roads and shopping areas as well as buffers the size and location of the building in a woodland setting.
- The proposed location is easily accessible for residents and public safety.
- A variance was approved on 8/11/2020 for allowable coverage of 9600 sf for garages accessory to the senior independent living.

Site Data

SITE DATA

PARCEL SUMMARY

PARCEL ID#	PROJ. AREA	ZONING
OVERALL PARCEL	17.73 ACRES	C-2 (BELLEVILLE PS. OVERLAY DISTRICT)
OUT PARCEL (TO BE SPLIT)	1.67 ACRES	
REMAINDER PARCEL	16.16 ACRES	

SETBACK DATA

	REQUIRED	PROPOSED
FRONT	50 FT	50 FT
SIDES	50 FT EACH	50 FT
REAR	50 FT	50 FT

BUILDING DATA

HEIGHT	# OF UNITS	FLOOR AREA
3 STORES	128	45,868 SQ. FT. (1ST FLOOR)
33 FEET		

REQUIRED LOT AREA = 6,980 SQ. FT./UNIT x 128 UNITS = 704,080 SQ. FT. (16.16 AC.)

ACCESSORY STRUCTURES DATA

HEIGHT	# OF STRUCTURES	TOTAL FLOOR AREA
1 STORY	4	8,600 SQ. FT.

LOT COVERAGE

MAIN BUILDING
45,868 SF/704,012 SF x 100% = 6.5%

ACCESSORY STRUCTURES
(8,600 SF/704,012 SF) x 100% = 1.2%

TOTAL LOT COVERAGE
7.8%

FLOOR AREA RATIO (FAR)

MAIN BUILDING
(45,868 SF x 3 FLOORS)/704,012 SF x 100% = 19.5%

ACCESSORY STRUCTURES
(8,600 SF/704,012 SF) x 100% = 1.2%

TOTAL FAR
20.7%

TYPICAL UNIT AREAS

1 BED = 1 BATH = 882 SF

3 BED = 1/1.5 BATH = 170-813 SF

STANDARD PARKING DATA

TYPE	PROPOSED	REQUIRED
GARAGE	40 SPACES	
STANDARD	122 SPACES	
TOTAL	162 SPACES	162 SPACES

FORMULA: UNITS x 1.25 + 2 SPACES/EMPLOYEE
EMPLOYEES = 2

ACCESSIBLE PARKING DATA

PROPOSED	REQUIRED	FORMULA
8 SPACES	8 SPACES	151-200 TOTAL SPACES

OPEN SPACE DATA

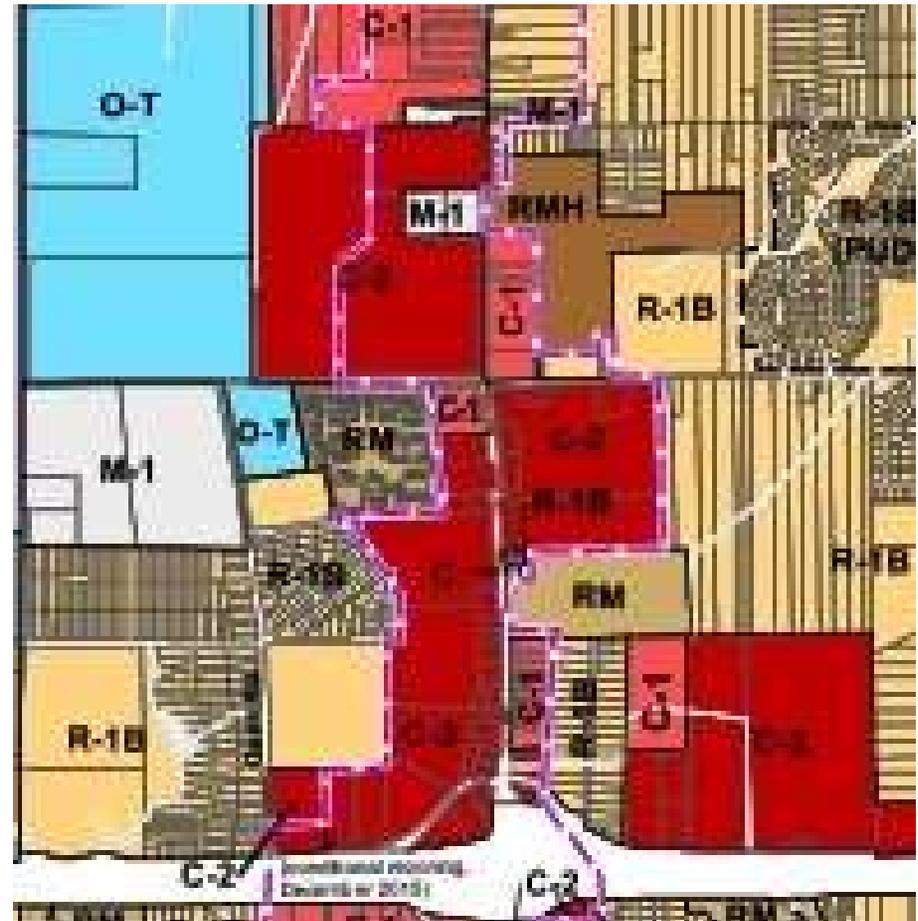
PROPOSED	REQUIRED
0.61 AC. (0.6%)	4.94 AC. (2.8%)

Accessory Structures

- Allowable coverage in C-2 is 4800 sf, proposed coverage is 9600 sf.
- The proposed coverage is for garages. The garages are practical and desirable for this location.
- A variance was approved on 8/11/2020 for allowable coverage of 9600 sf for garages accessory to the senior independent living.

BROD Architectural Standards

Section 6, Chapter 3.5 (a) "Durable, low-maintenance and timeless materials such as natural brick or stone."



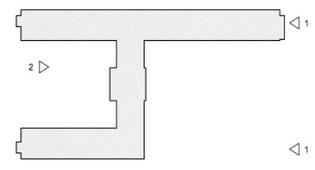
East/West Elevation



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



KEY PLAN
SCALE: 1/8" = 1'-0"

LEGEND - EXTERIOR MATERIALS	
1	ASBESTOS LAF SENG
2	BRICK AND BATTERY CLAY COLOR TO BE DETERMINED
3	HERRINGBONE BRICK, 100% CONCRETE COLOR TO BE DETERMINED
4	ACCESSIBLE SENG
5	BRICK BATTERY CLAY
6	APPLY TO BRICKS ONLY FOR BUILDING FEEL HERRINGBONE BRICK COLOR TO BE DETERMINED
7	BRICKS - BRICK BATTERY CLAY COLOR TO BE DETERMINED
LEGEND - LIGHT FIXTURES	
1	FIXTURE 1: MANTON BAY 4000-01 COLOR: BLACK
2	FIXTURE 2: MANTON BAY 4000-01 COLOR: BLACK
3	FIXTURE 3: MANTON BAY 4000-01 COLOR: BLACK
4	FIXTURE 4: MANTON BAY 4000-01 COLOR: BLACK

Notes:
1. ALL MATERIALS TO BE DETERMINED BY THE ARCHITECT.
2. BRICKS TO BE DETERMINED BY THE ARCHITECT.
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VAN BUREN TOWNSHIP SENIOR HOUSING VAN BUREN TOWNSHIP, MICHIGAN

#219,246
12/18/19

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North Elevation



LEGEND - EXTERIOR MATERIALS	
①	WOODSHAKE LAP SIDING
②	BRICK AND BATHING - SEE AS CALLS TO THE CONTRACTOR
③	WOODSHAKE LAP SIDING - SEE AS CALLS TO THE CONTRACTOR
④	WOODSHAKE LAP SIDING
⑤	BRICK - SEE AS CALLS TO THE CONTRACTOR
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VAN BUREN TOWNSHIP SENIOR HOUSING

VAN BUREN TOWNSHIP, MICHIGAN

#214014
12/18/19

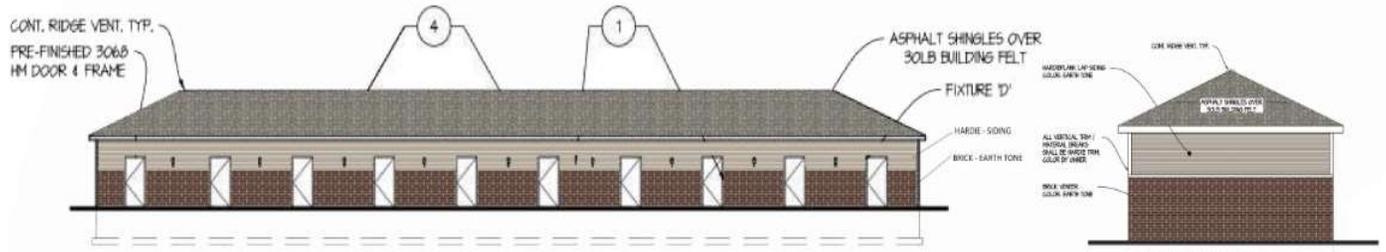
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Garage Elevation



TYPICAL FRONT ELEVATION - GARAGE



TYPICAL REAR ELEVATION - GARAGE

TYPICAL SIDE ELEVATION - GARAGE

VAN BUREN TOWNSHIP SENIOR HOUSING
VAN BUREN TOWNSHIP, MICHIGAN

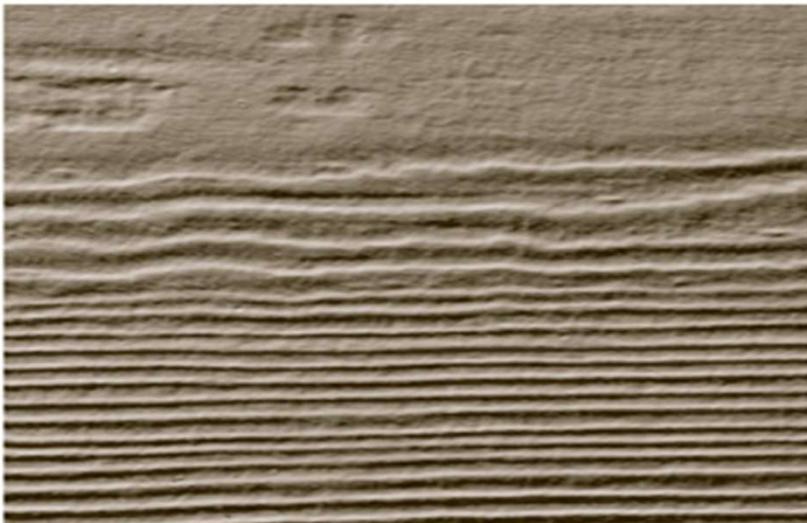
02/10/24
03/1/20

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Elevations

- Elevation color scheme was chosen to fit the natural color palette of the BROD district.
- Building style and façade is traditional and designed to resemble a “home” environment vs. a senior institutional living environment.
- The predominant building material is brick with hardie plank lap siding and cedar stained board and batten treatment of the balconies.
- The individual balconies create depth in the façade and an additional vertical board and batten element is used to articulate the design.





Color and material Selections

- Tradition red/brown brick has been selected for the base of the building.
- The top color (Heather) will be used for the hardie plank lap siding.
- The color (Fawn) will be used for the board and batten stain.

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Building Accessories

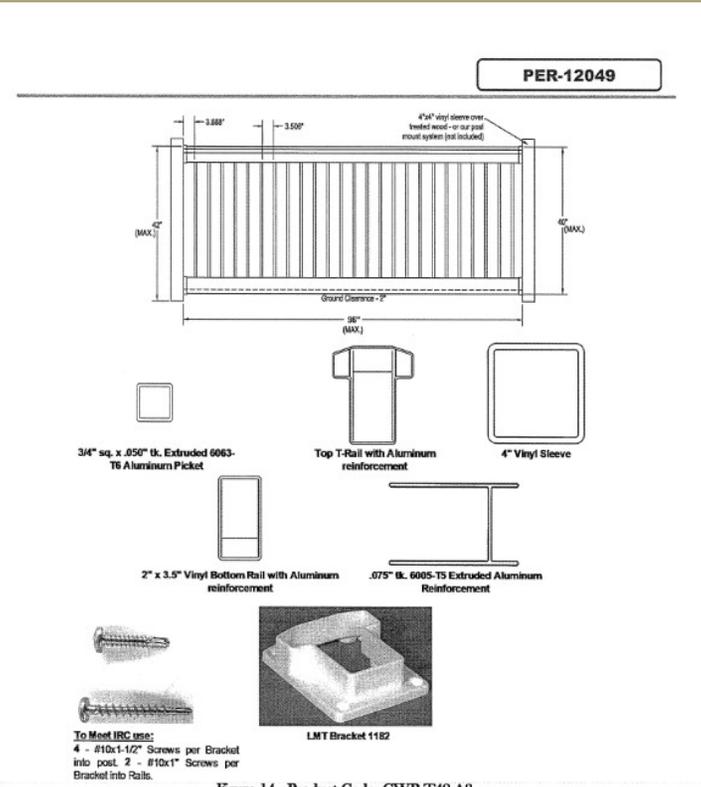


Figure 14 - Product Code: CWR-T42-A8

Architectural
Requirements
for
BROD

Building Materials and Coverage

Total Façade Principal Building: 36, 738 sf

Brick: 19,104 sf (52%)

Cement Fiber: 9185 sf (25%)

Wood: 5878 sf (16%)

Vinyl: 2572 sf (7%)

Total Façade Accessory Structure: 1140 sf

Brick: 643 sf (51%)

Cement Fiber: 617 sf (49%)

Architectural Requirements for BROD

Principal and Accessory structures are consistent in design and materials. There is no vinyl or wood planned for the garages.

Principal and Accessory structures have vertical elements to create separation in the façade. The balconies extend 6 feet from the buildings and have decorative lighting and rails to create separation in the façade. The façade of the garages is broken up by doors on both sides of the façade. There are no windows as these are private spaces that are not attached or always attended to daily. The garages are not visible for any other property as they side more than 50 feet from the side yard, 600 feet from the front yard and 200 feet from the rear yard.

Location of Building – 400 feet west of Belleville Road.

Setbacks from Belleville Road
for perspective:

Wetstlake Apartments – 165
feet

Bayloff – 100 feet

State Farm – 80 feet

Full House Self Storage – 207
feet

Meijer – 628 feet



Summary

The proposed development is market-rate senior independent living, a non-medically assisted, aging in place alternative for residents 55 years and older.

The development would be unique in Van Buren Township as it creates a commercial outlot for future development and sits back 400 feet from the road and still provides needed and desired amenities to the aging in place population.



Thank you!

*We look forward to being a part
of your Community.*

*More information on Clover and
our properties can be found at
www.clovergroupinc.com*