

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION AGENDA
Wednesday, January 10, 2018 – 7:30 PM, Board of Trustees Room**

CALL TO ORDER:

ROLL CALL:

APPROVAL OF AGENDA:

ELECTION OF OFFICERS:

MINUTES:

ITEM #1: Approval of minutes from the regular meeting of November 08, 2017.
Approval of minutes from the special meeting on November 29, 2017.

CORRESPONDENCE:

PUBLIC HEARING:

UNFINISHED BUSINESS:

NEW BUSINESS:

ITEM #1: **CASE 17-018 – SPECIAL LAND USE APPROVAL**

TITLE: **THE APPLICANT, PARALLEL INFRASTRUCTURE, IS REQUESTING A SPECIAL LAND USE APPROVAL FOR THE CONSTRUCTION OF A WIRELESS COMMUNICATION FACILITY (125 FOOT TALL MONOPOLE CELL PHONE TOWER AND ASSOCIATED SUPPORT STRUCTURES) AT 43430 ECORSE ROAD, VAN BUREN TOWNSHIP, MI 48111.**

LOCATION: Parcel number V-125-83-012-99-0028-000 (43430 Ecorse Road.) This property is located around the northwest corner of Ecorse Road and Morton Taylor Road and is located in the R-1B, Single Family Residential Zoning District.

ACTION ITEMS:

- A. Presentation by Applicant
- B. Presentation by Township staff.
- C. Planning Commission discussion.
- D. Planning Commission considers special use approval.

GENERAL DISCUSSION:

- 1. POTENTIAL ACCESSORY STRUCTURE ZONING ORDINANCE CHANGES.**
- 2. 2017 PLANNING COMMISSION ANNUAL REPORT**

ADJOURNMENT:

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION
NOVEMBER 8, 2017
MINUTES - DRAFT**

Chairperson Thompson called the meeting to order at 7:33 p.m.

ROLL CALL:

Present: Kelley, Budd, Boynton, Franzoi and Thompson.

Excused: None.

Staff: Director Akers and Secretary Harman.

Planning Representatives: McKenna Associate, Patrick Sloan, Wade Trim Associate, David Nummer and Fishbeck Associate, David Potter.

Audience: Seventeen (17).

APPROVAL OF AGENDA:

Motion Boynton, Kelley second to approve the amended agenda of November 8, 2017 correcting the description of New Business Item #2 from special use permit to preliminary site plan approval. Motion Carried.

APPROVAL OF MINUTES:

Motion Kelley, Boynton second to approve the regular meeting minutes of October 25, 2017 as presented. Motion Carried.

PUBLIC HEARING:

ITEM # 1 17-030 ASHLEY CAPITAL, IS REQUESTING A SPECIAL LAND USE PERMIT TO CONSTRUCT A DISTRIBUTION CENTER. THE DISTRIBUTION CENTER IS PROPOSED TO CONSIST OF FOUR (4) BUILDINGS TOTALING 1,575,778 SQUARE FEET OF SPACE.

LOCATION: THE PROPOSED DEVELOPMENT IS LOCATED NEAR THE NORTHWESTERN INTERSECTION OF ECORSE ROAD AND HAGGERTY ROAD. PARCEL ID# V-125-83-005-99-0009-701 (APPROXIMATELY 158.5 ACRES).

Motion Franzoi, Boynton second to open the public hearing. Motion Carried.

Ken Bowen gave the presentation for the applicant. The applicant is requesting special use approval to construct a distribution center consisting of four (4) buildings totaling approximately 1,575,778 square feet. Mr. Bowen gave a PowerPoint presentation displaying the south phase of the Ashley Capital distribution center. The applicant would like to break ground in the spring in order to complete the project by the end of the year. The project will take approximately 9-10 months to complete. The applicant has no tenants in mind at this time.

Two (2) Haggerty Road residents discussed traffic concerns, road conditions, car accidents and the need for a traffic study. The residents also discussed noise generated during construction and clearing of the existing Ashley Capital development, the decline in their property value and their desire to receive a buyout offer from Ashley Capital.

Commissioners discussed concern for the residential homes along both Haggerty and Ecorse Roads and the need to review the traffic study.

Motion Boynton, Kelley second to close the public hearing. Motion Carried.

NEW BUSINESS:

ITEM # 1 17-031 – SPECIAL LAND USE RECOMMENDATION ASHLEY CAPITAL CROSSROADS NORTH DISTRIBUTION CENTER.

TITLE: THE APPLICANT, ASHLEY CAPITAL, IS REQUESTING A SPECIAL USE PERMIT TO CONSTRUCT A DISTRIBUTION CENTER. THE DISTRIBUTION CENTER IS PROPOSED TO CONSIST OF FOUR (4) BUILDINGS TOTALING 1,575,778 SQUARE FEET OF SPACE.

LOCATION: THE PROPOSED DEVELOPMENT IS LOCATED NEAR THE NORTHWESTERN INTERSECTION OF ECORSE ROAD AND HAGGERTY ROAD. PARCEL ID# V-125-83-005-99-0009-701 (APPROXIMATELY 158.5 ACRES).

No additional comments from the applicant.

Patrick Sloan of McKenna Associates presented his special use review letter dated 10-23-17 recommending the Planning Commission recommend special approval to the Township Board, subject to the following conditions:

1. Submission of a traffic impact study and implementation of its recommendations, as required by the Township and Wayne County.
2. That the proposed setback of 60 feet from the property lines abutting the R-1B zoned areas be approved on the preliminary site plan at this time, subject to a Zoning Ordinance amendment being adopted allowing the setback of a distribution center to be reduced from 80 feet to 60 feet. If the Zoning Ordinance is not adopted, the final site plan must show a setback of 80 feet.
3. That a performance guarantee be submitted by the applicant for planning a sufficient evergreen buffer between Buildings 4 and 6 in the event that building 6 is not constructed within a certain period of time.
4. That all of the conditions of preliminary site plan approval are met.
5. Final site plan approval.

Commissioners discussed the need to review the traffic study, the tree removal permit to be addressed at final site plan approval, the applicant to consider reaching out to neighboring residential homeowners to discuss remedies and staff to research remedies with the township attorney for assistance with major industrial rezoning. The Commissioners agreed not to take action on the special use permit until having time to review the traffic study and to invite Wayne County to the next meeting for discussion on the traffic study.

Resident discussed the detention pond on the property and drainage.
Mr. Bowden gave Director Akers a copy of the traffic study for review.

Motion Kelley, Boynton second to table the discussion until the Commission has reviewed the traffic study. Motion Carried.

ITEM # 2 17-030 – PRELIMINARY SITE PLAN APPROVAL FOR ASHLEY CAPITAL CROSSROAD NORTH DISTRIBUTION CENTER.

TITLE: THE APPLICANT, ASHLEY CAPITAL, IS REQUESTING PRELIMINARY SITE PLAN APPROVAL TO CONSTRUCT A DISTRIBUTION CENTER. THE DISTRIBUTION CENTER IS PROPOSED TO CONSIST OF FOUR (4) BUILDINGS TOTALING 1,575,778 SQUARE FEET OF SPACE.

LOCATION: THE PROPOSED DEVELOPMENT IS LOCATED NEAR THE NORTHWESTERN INTERSECTION OF ECORSE ROAD AND HAGGERTY ROAD. PARCEL ID# V-125-83-008-99-0002-703 & PARCEL ID V-125-83-005-99-0009-701 (APPROXIMATELY 158.5 ACRES).

Ken Bowen gave the presentation, displaying a color rendering of the proposed buildings. The building design was changed to be more consistent with architectural requirements.

Patrick Sloan of McKenna Associates presented his preliminary site plan review letter dated 10-23-17 recommending preliminary site plan approval subject to the fifteen (15) conditions referenced in his review letter.

Fishbeck Associate, David Potter presented his review letter dated 10-23-17 recommending the Commission grant preliminary site plan approval subject to the comments noted in the review.

Director Akers presented the Fire Department review letter dated 11-1-17 recommending approval subject to the five (5) items addressed in the letter being completed during construction.

Two (2) Haggerty Road residents discussed concerns with the height of the light poles, the height of the berm and evergreen buffer, flooding and drainage from the site.

No comments from the audience.

Commissioners agreed to table preliminary site plan approval until considering their special use recommendation.

Motion Kelley, Boynton second to table preliminary site plan approval to coincide with the special use approval. Motion Carried.

ITEM # 3 16-037 – FINAL SITE PLAN APPROVAL

TITLE: THE APPLICANT, SPEEDWAY LLC/ANDREW SALD, IS REQUESTING FINAL SITE PLAN APPROVAL TO CONSTRUCT A GASOLINE FILLING STATION.

LOCATION: PARCEL ID# V-125-83-039-99-0009-721. THE SITE IS PROPOSED TO BE APPROXIMATELY 2.064 ACRES AND IS LOCATED AT THE NORTHEASTERN CORNER OF THE BELLEVILLE ROAD/TYLER ROAD INTERSECTION.

Andrew Sald gave the presentation. Mr. Sald added revisions to the site plans based on staff reports including the sidewalk and additional shrubs. He displayed color renderings of the exterior façade, screening of mechanicals, two (2) signs and landscaping. The applicant is open to staff discussion on the light fixtures for the site.

Patrick Sloan of McKenna Associates presented his final site plan review letter dated 10-27-17 recommending the Planning Commission grant final site plan approval subject to the following conditions:

1. That all sidewalk connectors on the site that are proposed to connect off-site must be provided with a recorded access easement acceptable to the Township for reciprocal pedestrian access.
2. Addition of a few shrubs to the northwest corner landscape island.
3. That plan sheets for the lighting be included with the final site plan set and that the fixtures be decorative along the street frontage to be consistent with the Belleville Road Overlay District standards.
4. That the bench and trash can details are consistent with DDA design recommendations.

David Nummer of Wade Trim presented his final site plan review letter dated 10-13-17 recommending the Planning Commission grant preliminary site plan approval at this time.

Director Akers presented the Fire Department review letter 16-037 approving the plan.

No comments from Commissioners or the audience.

Motion Boynton, Kelley second to grand Speedway LLC/Andrew Sald final site plan approval to construct a gasoline filling station on approximately 2.064 acres located at the northeastern corner of the Belleville Road/Tyler Road intersection, parcel number V-125-83-039-99-0009-721 subject to the recommendations in the McKenna Associates review letter dated 10-27-17 striking item #4, the Wade Trim review letter dated 10-13-17 and Fire Department review letter referencing case #16-037 and the amendment of the applicant to provide staff with an updated site plan. Motion Carried. (Letters Attached)

ITEM # 4 17-024 – MASTER PLAN AMENDMENT HAROLD SMITH FARM FUTURE LAND USE

TITLE: THE APPLICANT, BEN GRIFFIN, IS REQUESTING AN AMENDMENT TO THE TOWNSHIP’S FUTURE LAND USE MAP TO CHANGE THE FUTURE LAND USE DESIGNATION FROM LOW DENSITY SINGLE FAMILY B TO LIGHT INDUSTRIAL.

LOCATION: THE PROPERTY AT 50015 MICHIGAN AVENUE IS THE SUBJECT OF THIS REQUEST. THIS PROPERTY IS LOCATED ON THE SOUTH SIDE OF MICHIGAN

**AVENUE, EAST OF ECORSE ROAD AND WEST OF DENTON ROAD.
(APPROXIMATELY 75 ACRES).**

Director Akers presented his future land use update letter dated 11-3-17 along with the master plan amendment/future land use projected timeline. He discussed the next step in the process of amending the future land use plan is to recommend the amendment be submitted to the Township Board for approval and distribution to adjacent communities.

Patrick Sloan of McKenna Associates discussed his memorandum dated 11-8-17 recommending the proposed changes to the future land use plan be distributed to surrounding communities and required agencies for review pursuant to the Michigan Planning Enabling Act.

No comments from the Commission or the audience.

Motion Kelley, Boynton second to recommend Township Board approval and distribution of the plan amendment to the adjacent communities as required by the Michigan Planning Enabling Act.

Roll Call:

Yeas: Kelly, Atchinson, Budd, Boynton, Franzoi and Thompson.

Nays: None.

Absent: None.

Motion Carried.

ITEM # 5 17-034 – SITE PLAN AMENDMENT

TITLE: THE APPLICANT, GILBERT HOMES, IS REQUESTING AN AMENDMENT TO THE APPROVED ARLENE ARBORS SITE PLAN FOR REVISED SINGLE FAMILY ARCHITECTURAL ELEVATIONS.

LOCATION: THE UNFINISHED ARLENE ARBORS SUBDIVISION IS THE SUBJECT OF THE REQUEST. THE DEVELOPMENT IS LOCATED ON THE SOUTH SIDE OF SAVAGE ROAD, EAST OF SHELDON ROAD.

Applicant Bruce Gilbert gave the presentation. Gilbert Homes is looking to purchase the eight (8) remaining vacant lots in the Arlene Arbors subdivision. Mr. Gilbert displayed the eight (8) lots and the three (3) proposed home elevations. All elevations have brick to the belt core on all four sides, sump located in the side yard to the back and a bump out for the fireplace as homes in the neighborhood currently have. Four (4) of the lots will require a side entry garage to meet required setbacks. The applicant has received verbal architectural approval from the Homeowners Association of Arlene Arbors.

Director Akers discussed his staff memorandum dated 11-2-17 recommending the Planning Commission approve an amendment to the site plan for the Arlene Arbors development in order to allow Gilbert homes to construct homes consistent with the provided plans which depict elevations to be constructed on the remaining lots in the subdivision. This approval based upon the staff review letter dated 11-3-17 and conditioned on the following:

1. Township Planning Staff shall review each application for a new single family home in order to determine that the new homes meets the required setbacks and that the elevation meets the Township's "substantially different" architectural design standards set forth in the Zoning Ordinance.
2. The Planning Commission recommends that the applicant make efforts to obtain architectural approval from the Homeowners Association of Arlene Arbors.

Commissioners discussed the Homeowners Association approval; the applicant has received verbal approval and will be receiving an approval letter as well.

Motion Atchinson, Budd second to grant Gilbert Homes an amendment to the approved Arlene Arbors site plan for revised single-family architectural elevations, subject to the conditions in the staff review letter dated 11-3-17. Motion Carried. (Letter attached)

GENERAL DISCUSSION:

ADJOURNMENT:

Motion Boynton, Atchinson second to adjourn at 9:35 p.m. Motion Carried.

Respectfully submitted,

Christina Harman
Recording Secretary

CHARTER TOWNSHIP OF VAN BUREN & CITY OF BELLEVILLE
JOINT PLANNING COMMISSION
NOVEMBER 29, 2017
MINUTES - DRAFT

Director Akers called the meeting to order at 7:01 p.m.

ROLL CALL:

City of Belleville Planning Commission

Present: Jones, Juriga, Priest, Hawkins, Kurczewski, Bates, Renaud, Wagner and Hasen.

Excused: None.

Staff: Director Rutherford.

Van Buren Township Planning Commission

Present: Kelley, Atchinson, Budd, Boynton, Jahr, Franzoi and Thompson.

Excused: None.

Staff: Director Akers and Secretary Harman.

Planning Representatives: McKenna Associate, Patrick Sloan and Fishbeck Associate, David Potter.

Audience: Fourteen (14).

APPOINTMENT OF A CHAIRPERSON:

Motion Juriga, Thompson second to nominate Commissioner Jones as Chairperson. Motion Carried.

APPROVAL OF AGENDA:

Motion Boynton, Bates second to approve the agenda of November 29, 2017 as presented.

Motion Carried.

Supervisor McNamara thanked both Commissions for their attendance and introduced the Van Buren Township Trustees present: Sherry Frazier, Kevin Martin, Reggie Miller and Paul White.

Mayor Conley thanked the Commissions for their willingness to work together and introduced City Council members present: Thomas Fielder, Jack Loria, Tom Smith and Jesse Marcotte.

GENERAL DISCUSSION:

ITEM # 1 MASTER PLAN DISCUSSION

Director Akers provided a brief presentation of potential master plan topics for open discussion by the Commissioners. Director Akers introduced staff members and planning representatives present for the meeting. The City of Belleville and Van Buren Township Planning Commissioners introduced themselves and each Commission provided an update on the status of their master plan review.

A. SUMPTER ROAD CORRIDOR SOUTH OF HULL ROAD:

Commissioners discussed zoning along the Sumpter Road corridor and the possible effects of rezoning some agricultural land to commercial, a market or grocery store on the south side, changing the utilities along the corridor for future development and turning agriculturally zoned properties into commercially zoned properties.

B. SUMPTER ROAD BETWEEN RAILROAD TRACKS AND HULL ROAD:

Commissioners discussed future plans for the city, creating guidelines to encourage growth, splitting commercial/residential properties and possible locations for: temporary housing, a retirement community, medical office, shops and grocery store for residents. Commissioners also discussed the possibility of using CDBG funds to create sidewalks to the downtown area and working together to research further ideas to enhance connectivity to the downtown area.

C. BELLEVILLE ROAD CORRIDOR IMPACT ON MAIN STREET:

Commissioners discussed how to draw business into the main street area from potential development in the corridors to the south, the traffic volume going through the downtown area and the desire for further strategic development discussion.

D. OPPORTUNITIES TO SUPPORT DOWNTOWN BELLEVILLE:

Commissioners discussed addressing blight and parking concerns, possibly a new park/community building, adding more walkable amenities to the downtown area and approaching the whole stretch as the Main Street corridor not just the downtown area.

E. RESIDENTIAL CORRIDORS:

Commissioners discussing the impact zoning changes, traffic and growth to residential areas.

F. BELLEVILLE LAKE:

Commissioners discussed the need for more lake access for recreational activities, a lakescape project, creating design standards for the shoreline, adding amenities to the docks at Horizon Park, enhancing the boat slips to allow larger boat access and the possibility of the new park/community building to include fishing pier/boat docking access. The Commissioners also discussed the potential impacts of the lake draw down, addressing the eroding shoreline areas and the desire for another commercial development lakeside and the possibility of bringing back the River Boat on the lake.

G. IRON BELLE TRAIL

Commissioners discussed connectivity and the communities working together on the Iron Belle Trail link, the trail is proposed to run along Huron River Drive and connect to Washtenaw County to the west and the Lower Huron Metropark to the south.

H. WAYS THE TWO COMMUNITIES CAN WORK TOGETHER IN THE FUTURE:

Commissioners discussed their desire to revisit joint Commission meetings: moving forward possibly annually or bi-annually, including Sumpter Township at future meetings, setting up points of contact for each community and keeping neighboring communities in consideration with decisions regarding master plan.

City of Belleville Planning Commissioners, Van Buren Township Planning Commissioners, Supervisor McNamara and Mayor Conley thanked everyone for their attendance, the opportunity to meet and Belleville High School for the use of their facility. The Commissioners, Board members and Council members desire to work together, keep communication open and plan future meetings.

ADJOURNMENT:

Motion Juriga, Boynton second to adjourn at 9:37 p.m. Motion Carried.

Respectfully submitted,

Christina Harman
Recording Secretary

RECEIVED

PLANNING & ZONING APPLICATION

MAY 19 2017

Case number _____

Date Submitted _____

BY: _____

APPLICANT INFORMATION

Applicant Purnell Infrastructure Phone 248-650-8000
 Address c/o J A Crane Fax _____
 City, State 1126 N Main Rochester Zip 48307
 E-mail jpc@pbi.sbcglobal.net Cell Phone Number _____
 Property Owner _____ Phone _____
 Address (if different than applicant) Patrick Craven Fax _____
 City, State 43430 Ecorse Rd, Billiville MI Zip _____
 Billing Contact Jonathan B. Crane Phone 248-650-8000
 Address 1126 N Main Fax _____
 City, State Rochester MI Zip 48307

SITE/PROJECT INFORMATION

Name of Project P. Tower wireless facility
 Parcel Id No. V125-83-012-99-0025-000 Project Address 43430 Ecorse

Attach Legal Description of Property

Property Location: On the W Side of Ecorse Road; Between Wayne Junction Trail Road and _____ Road. Size of Lot Width 660 Depth 1320
 Acreage of Site 20 Total Acres of Site to Review _____ Current Zoning of Site R 18
 Project Description: Construct a 125' Tall Monopole for Verizon wireless

Is a re-zoning of this parcel being requested? _____ YES (if yes complete next line) (NO)
 Current Zoning of Site R 18 Requested Zoning _____

SPECIAL PERMIT INFORMATION

Does the Proposed Use Require Special Approval? _____ YES (if yes complete next line) NO
 Section of Zoning Ordinance for which you are applying 4.24 B
 Is there an official Woodland within parcel? NO Woodland acreage _____
 List total number of regulated trees outside the Woodland area? _____ Total number of trees _____
 Detailed description for cutting trees _____

If applicable application MUSE be accompanied with a Tree Survey or statement of no trees, which incorporates all the requirements listed in Section 4.45 of Zoning Ordinance 6-2-92, as amended.

OWNER'S AFFIDAVIT

Jonathan B. Crane P33749
 Print Property Owner's Name
Patrick Craven AMY T. MILLER
 Signature of Property Owner Atty NOTARY PUBLIC
 Date 5-13-17 County of Wayne
 My Comm. Expires 10/21/2020
 Acting in the County of Wayne

STATE OF MICHIGAN
COUNTY OF WAYNE

The undersigned, being duly sworn, deposes and says that the foregoing statement and answers hereon, and the information and date are in all respects true and correct.

Subscribed and sworn before me this 13 day of May 2017
Christina Notary Public, Wayne County, Michigan My Commission expires 10/21 2020

February 20, 2017

To: Van Buren Township Planning Commission, 46425 Tyler Road, Van Buren
Twp., MI 48111

PI Telecom Infrastructure V, LLC ("PI") is an owner and developer of communications towers, and is in the business of leasing vertical real estate.

As such, and through strategic relationships with numerous wireless carriers licensed by the FCC, PI will actively market the proposed wireless telecommunications facility to licensed carriers for collocation. We commit to responding to all requests, negotiate in good faith and charge reasonable market rate for rent.

The proposed wireless telecommunications facility will be designed to accommodate a minimum of 3-4 wireless carriers as per current engineering standards and average carrier equipment loading. This will allow the carriers to provide wireless service to the local community and traveling public without the need for the development of additional tower structures in the immediate area.

Please feel free to contact me at (248) 302-1875 or via e-mail at beth.powers@pitower.com if I can provide any additional information.

Very truly yours,

PI Telecom Infrastructure V, LLC

Beth Powers

Beth Powers
Region Manager



909 Lake Carolyn Parkway | Suite 260 | Irving, TX 75039
T: 972-707-5250 | parallelinfrastructure.com

Sprint
Attention: Inbound Colocation Manager
6200 Sprint Parkway
Overland Park, Kansas 66251
2/22/17

RE: Parallel Infrastructure Tower Site MI-Van Buren-Creedon, PIMI052 located at 43430 Ecorse Road, Belleville, MI 48111
Latitude - 42° 15' 08.66" N / 42.25241
Longitude - 83° 28' 07.49" W / -83.46875

Pursuant to the requirements of Section 4.24b Wireless Communication Facilities of the Van Buren Township Ordinance, Parallel Infrastructure is hereby providing you with the notice of our intent to develop a new telecommunications facility located at the address listed above. In general, we plan to construct a new 125' monopole tower for providing Wireless Communication Services.

The purpose of this letter is to inform you of an opportunity to collocate on this tower in lieu of pursuing a new facility in the area. Please contact us at your convenience should you have any questions or interest in installing equipment at this facility.

Sincerely,

A handwritten signature in black ink, appearing to read "Beth Powers", written over a white background.

Powers, Beth
Midwest Director
Parallel Infrastructure

(248) 302-1875
Beth.Powers@PITowers.com



909 Lake Carolyn Parkway | Suite 260 | Irving, TX 75039
T: 972-707-5250 | parallelinfrastructure.com

ATT
Attention: Inbound Colocation Manager
4016 Watson Blvd
Warner Robins, GA 31093
2/22/17

RE: Parallel Infrastructure Tower Site MI-Van Buren-Creedon, PIMI052 located at 43430 Ecorse Road, Belleville, MI 48111
Latitude - 42° 15' 08.66" N / 42.25241
Longitude - 83° 28' 07.49" W / -83.46875

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Powers, Beth
Midwest Director
Parallel Infrastructure

(248) 302-1875
Beth.Powers@PITowers.com



909 Lake Carolyn Parkway | Suite 260 | Irving, TX 75039
T: 972-707-5250 | parallelinfrastructure.com

T-Mobile
Attention: Inbound Colocation Manager
12920 SE 28th Street
Bellevue, WA 98006
2/22/17

RE: Parallel Infrastructure Tower Site MI-Van Buren-Creeden, PIMI052 located at 43430 Ecorse Road, Belleville, MI 48111
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Powers, Beth
Midwest Director
Parallel Infrastructure

(248) 302-1875
Beth.Powers@PITowers.com

February 9, 2017

Ms. Jennifer Brown
Parallel Infrastructure

RE: Proposed 125' Sabre Monopole for MI-Van Buren-Creedon, MI

Dear Ms. Brown,

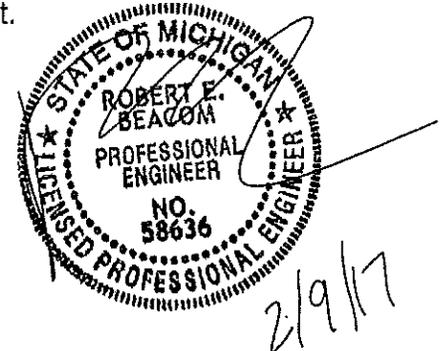
Upon receipt of order, we propose to design and supply the above referenced Sabre monopole for a Basic Wind Speed of 89 mph (115 mph Ultimate) with no ice and 40 mph with 1" radial ice, Structure Class II, Exposure Category C and Topographic Category 1 in accordance with the Telecommunications Industry Association Standard ANSI/TIA-222-G, "Structural Standard for Antenna Supporting Structures and Antennas".

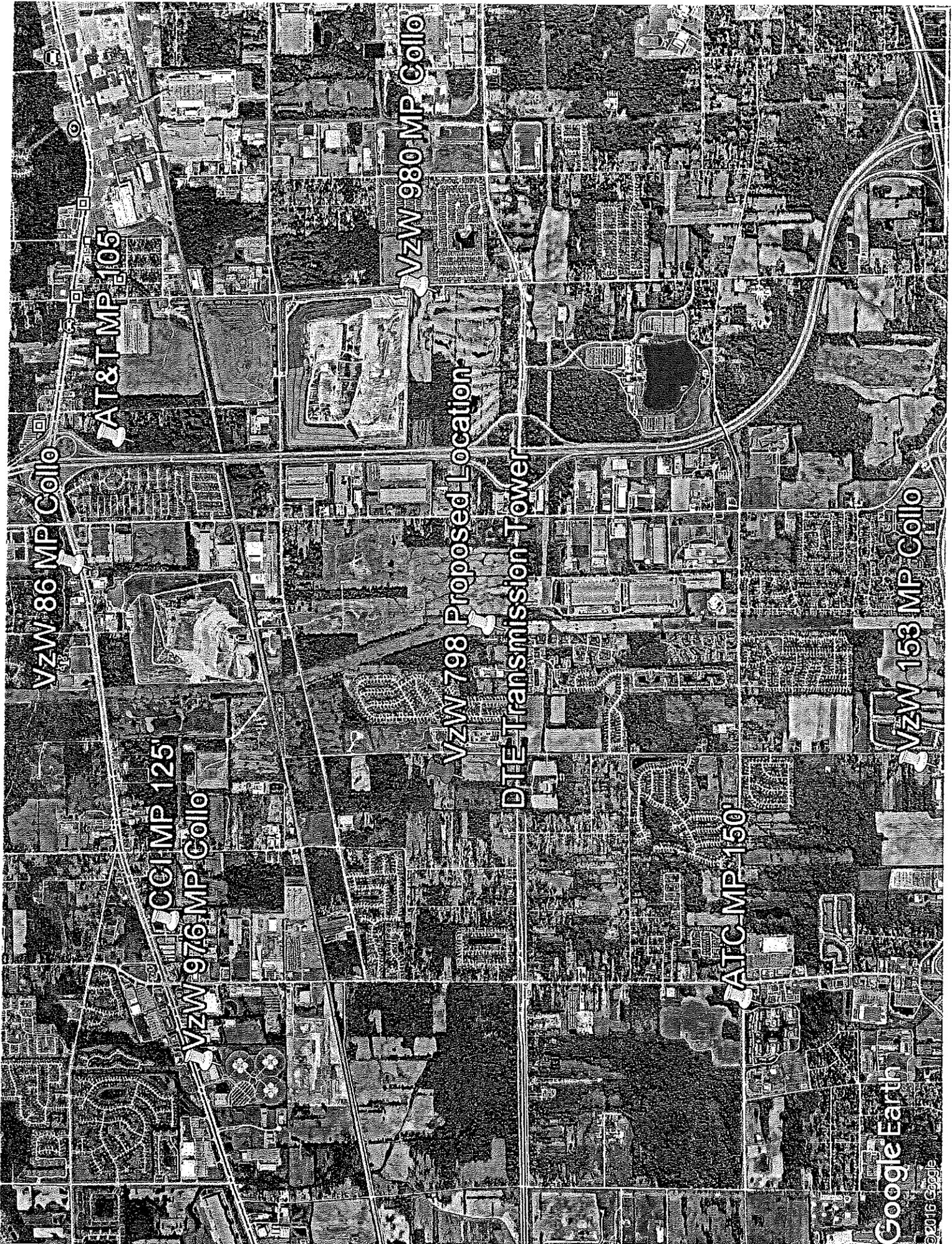
When designed according to this standard, the wind pressures and steel strength capacities include several safety factors, resulting in an overall minimum safety factor of 25%. Therefore, it is highly unlikely that the monopole will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within the monopole shaft, above the base plate. Assuming that the wind pressure profile is similar to that used to design the monopole, the monopole will buckle at the location of the highest combined stress ratio within the monopole shaft. This is likely to result in the portion of the monopole above leaning over and remaining in a permanently deformed condition. **Please note that this letter only applies to the above referenced monopole designed and manufactured by Sabre Towers & Poles.** The fall radius for the monopole design described above is less than 37.5 feet.

Sincerely,

Robert E. Beacom, P.E., S.E.
Senior Design Engineer







MCKENNA

December 8, 2017

Planning Commission
Charter Township of Van Buren
46425 Tyler Road
Belleville, MI 48111

Subject: Verizon Wireless Telecommunications Tower; Special Land Use Review #3

Location: 43430 Ecorse Road; West side of Morton Taylor Road, north of Ecorse Road

Dear Planning Commissioners:

Plans for a new monopole wireless telecommunications tower, an equipment shelter, and other appurtenances have been submitted for a site located on the west side of Morton Taylor Road, north of Ecorse Road (parcel 83-012-99-0028-000). The applicant, Jonathan R. Crane, on behalf of Verizon Wireless, proposes to construct a monopole tower and other structures within a 75' x 75' leased area in the northwestern portion of the site. Per the site plan, the monopole will have a height of 125 feet to the top antenna platform and lightning rod will add a maximum of 4 feet, resulting in a total height of 129 feet.

The site is zoned R-1B Single Family Residential District, which permits wireless communication facilities [Section 3.106 (C)] via special land use. Further, Section 5.143 (B)(1)(a) allows for WCF's subject to standards noted in Section 5.143 (D).

The applicant appeared for a public hearing before the Planning Commission on September 13, 2017 and was granted preliminary site plan approval subject to all outstanding issues and items being satisfactorily addressed and with the direction that the special land use request will be revisited at the time of final site plan approval. We have reviewed the site plan and special land use applications for compliance with the regulations of Van Buren Township Zoning Ordinance, Planning Commission conditions of preliminary site plan approval, and sound planning and zoning principles. Our site plan comments are addressed in our letter dated December 8, 2017, and we offer the following comments on the special land use application:

Procedure for Reviewing New Wireless Telecommunications Facilities

In 2012, an amendment to the Michigan Zoning Enabling Act was adopted that restricted the ability of local governments to regulate wireless telecommunications facilities (i.e., cellular towers). For new towers, the Act requires the City to act on the application not more than 90 days after the application is deemed administratively complete. The application dated May 13, 2017, was accepted by the Township (subsequent to request for additional information which was submitted) on August 1, 2017. As a result, the Planning Commission would have been required take action by November 1, 2017. However, prior to that date, the applicant submitted a letter permitting this period to be extended because the plans were deficient at that time. Our understanding is that the terms of this letter were accepted by the Township. A public hearing on the special land use application was held at the September 13, 2017 Planning Commission meeting. Because of this 90-day time constraint imposed by the Act, the Planning Commission – not the Township Board of Trustees – is the approving authority for WCF's.

HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

☎ 248.596.0920
☎ 248.596.0930
MCKA.COM

Communities for real life.

Special Land Use Review Comments

Section 12.306 of the Zoning Ordinance sets forth nine (9) criteria for the Planning Commission to consider when reviewing special land use proposals. Following is our review of each criterion:

- 1. The special land use will promote the use of land in a socially and economically desirable manner for persons who will use the proposed land use or activity, for landowners and residents who are adjacent thereto, and for the Township as a whole.** The subject site is a large vacant piece of land which appears like an open field. The proposed tower is to be located in the northwest corner of the site with existing tree line to the north and west on abutting parcels.

The application packet includes a letter from the tower manufacturer regarding its stability and possible collapse. The applicant stated at the last Planning Commission meeting that the proposed tower is designed to collapse onto itself, and in the event of a structural failure, the tower will fall within the lease area boundaries. The site and all abutting parcels are zoned R-1B residential and it is anticipated that in the future these properties will be developed for single-family residential uses. The parcels to the north of the subject site are not as large and are significantly long and narrow. While the presence of a wireless tower on the property and its possible fall zone may have an adverse impact on the development potential of these parcels with regard to site design, location of homes, and marketability, the applicant has submitted information indicating that the fall zone is within the lease area. Additionally, the perimeter will be adequately screened.

- 2. The special land use is necessary for public convenience at that location.** In response to a request from the Township for written justification on the need for a tower at this location, the applicant in a letter July 27, 2017 has stated the location of other facilities and locations in the vicinity that would not work for their needs. A map of the proposed location and other facilities shows an ITC transmission tower within half mile and several other towers within a 2+ mile radius. This same ITC corridor includes transmission towers with WCF's built on them (e.g., north of Michigan Ave. and just north of Belleville Lake). However, Mr. Crane stated at the September 13th public hearing that this is not a practice of Verizon due to the structural questions of the transmission towers. Per the propagation maps distributed at the Planning Commission meeting, the location of the proposed tower covers a gap in coverage that is deemed significant by the applicant. The applicant further states that an ideal location would have been further west but they are restricted due to FAA rules and the Willow Run Airport. The applicant should clarify what is the limit further west beyond which a tower cannot be placed.
- 3. The special land use is compatible with adjacent uses of land.** As previously stated, the zoning on all adjacent properties is R-1B. The existing land use is single family residential to the east, vacant residential to the north and west and a church to the south. The subject property has a single-family dwelling with accessory structures at the southeast corner of the property (intersection of Ecorse and Morton Taylor Roads). While the proposed tower at this time is not in close proximity to any dwelling, it may impact future residential development on the subject site and abutting vacant parcels unless properly screened.
- 4. The special land use is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected.** The proposed tower and accessory structures will be secured by a 6-foot high galvanized chain link fence. Based on the applicant presentation and a letter from the applicant's engineer that the fall zone for the tower will be contained within the lease area boundaries, we don't anticipate any adverse impacts on public health, safety, and welfare. Per the propagation maps distributed at the



Planning Commission meeting, the location of the proposed tower covers a gap in coverage in an area that currently has poor to moderate coverage, and is necessary to provide service to customers in the area that cannot be accommodated elsewhere.

5. **The special land use can be adequately served by public services and facilities without diminishing or adversely affecting public services and facilities to existing land uses in the area.** Such facilities typically do not require the use of water or sewer; however, the site plan indicates a 1,000-gallon propane tank within the lease area. Sheet Z2 notes that the propane tank is to be used for the operation of the emergency generator only.
6. **The special land use will not cause injury to the value of other property in the neighborhood in which it is to be located.** As previously noted, the location of a tower on a vacant developable piece of land may have impacts on their development potential for residential purposes. If properly screened and meeting the requirements of the Zoning Ordinance, we are not aware of any impacts on the value of surrounding properties.
7. **The special land use will consider the natural environment and help conserve natural resources and energy.** The tower is not expected to generate dust, fumes, smoke, odor, vibration, or detectible noise. The equipment shelter canopy is intended to have downward directed and shielded lights on its underside. The tower will not have a light. In our accompanying site plan review letter of December 8, 2017, we recommend replacing the light fixture on Sheet Z4 with a full cutoff fixture. The visual aesthetics of the facility are mitigated by existing wooded areas to the north and west. The revised plan indicates a single row of 6-foot high Arborvitae planted 5 feet on center around the fenced lease area, for a total of 55 Arborvitae surrounding the fenced area. In our accompanying site plan review letter, we recommend approval of the 10-foot wide landscape easement around the lease area, subject to the Township Attorney's approval of a landscape maintenance agreement.
8. **The special land use is within the provisions of uses requiring special approval as set forth in the various zoning districts herein, is in harmony with the purposes and conforms to the applicable regulations of the zoning district in which it is to be located, and meets applicable site design standards for special approval uses.** These items are addressed throughout this letter and in our accompanying site plan review letter dated December 8, 2017. While issues related to a landscape easement and lighting details requested in this letter and our site plan review letter remain to be addressed, other considerations to determine compliance with the requirements of the Zoning Ordinance as well as sound planning and zoning principles have been submitted and are adequate.
9. **The special land use is related to the valid exercise of the Township's zoning authority and purposes which are affected by the proposed use or activity.** Consideration of a special land use for the location of a new wireless facility to determine its impact upon neighboring property or public facilities is within the purview of the Planning Commission and Township Board of Trustees and a valid exercise of the Township's police power.

Specific Approval Criteria for all WCSF's [Section 5.143 (F)]. A new WCF shall not be approved unless it can be demonstrated by the applicant that there is a need for the new WCF which cannot be met by placing WCA on an existing WCSF or on other structures, or replacement of an existing WCSF. Information concerning the



following factors shall be provided by the applicant and considered by the Planning Commission in determining that such a need exists:

- (a) Insufficient structural capacity of existing WCSF's or other suitable structures and the feasibility of reinforcing or replacing an existing WCSF;
- (b) Unavailability of suitable locations to accommodate system design or engineering on existing WCSF or other structures;
- (c) Radio frequency interference or other signal interference problems at the existing WCSF or other structures.
- (d) Other factors which demonstrate the reasonable need for the new WCSF;
- (e) The denial of the application for the proposed WCF will result in unreasonable discrimination among providers of fundamentally equivalent personal wireless communication or services and/or will have the effect of prohibiting the provision of personal wireless communication services;
- (f) The refusal of owners or parties who control the WCSFs or other structures to permit a WCA to be attached to such WCSFs or structures

As previously noted, the applicant submitted propagation maps at a previous Planning Commission meeting to demonstrate an existing gap in coverage in the area of the proposed tower location. Per the applicant, collocation on any of the available ECF's in the vicinity will not address the gap coverage issue. The applicant has stated that they preferred a location further west but were unable to accommodate that due to FAA regulations for distance. Any documentation to support this statement must be provided. Finally, the applicant has stated that numerous unsuccessful attempts were made to reach the pastor at the church located to the south of the subject site. Any documentation to support this would also be beneficial since a church property is better suited for a new WCF than a vacant single-family residential parcel with future development potential pursuant to the Zoning Ordinance recommendations.

Recommendations

At this time, the conditions of special land use have been met. If the applicant can satisfactorily demonstrate that locating the tower further west is not feasible due to FAA regulations and that they made bona fide attempts to contact the pastor at the church located south of the site, then we recommend approval of the Special Land Use permit subject to the following conditions:

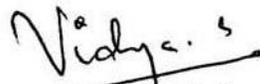
- 1. The landscape maintenance agreement be reviewed and approved by the Township Attorney.
- 2. That the light fixture on Sheet 4 be replaced with a full cutoff fixture only.
- 3. That the site plan comply with all requirements of the Township Engineer and Fire Department.

Respectfully submitted,

McKENNA ASSOCIATES



Patrick J. Sloan, AICP
Senior Principal Planner



Vidya Krishnan
Senior Planner



PROJECT SUMMARY

SITE NAME: MI-VAN BUREN-CREEDON
 SITE ADDRESS: TBD MORTON TAYLOR ROAD BELLEVILLE, MI 48111
 JURISDICTION: VAN BUREN TOWNSHIP
 COUNTY: WAYNE COUNTY
 ZONING: R-1B
 PROPERTY OWNER: PATRICK CREEDON 43430 ECORSE ROAD BELLEVUE, MI 48111
 TOWER OWNER: PI TOWER DEVELOPMENT, LLC. C/O LENDLEASE AMERICAS, INC. 909 LAKE CAROLYN PARKWAY, SUITE 260 IRVING, TX 75039 CONTACT: MICHAEL WILSON PHONE: (585) 330-0211

SITE NUMBER: PIMI052
 SITE COORDINATES: 1A
 LATITUDE: 42° 15' 08.66" N (NAD 83)
 LONGITUDE: 83° 28' 07.49" W (NAD 83)
 ELEVATION: 679.0' (NGVD 29)

OCCUPANCY: UNMANNED
 CONSTRUCTION TYPE: ZONING
 TELEPHONE COMPANY: TBD CONTACT: TBD PHONE: TBD
 POWER COMPANY: DTE CONTACT: TBD PHONE: TBD
 FIRE DEPARTMENT: VAN BUREN TOWNSHIP 46425 TYLER ROAD BELLEVILLE, MI, 48111 PHONE: (734) 699-8930
 POLICE DEPARTMENT: VAN BUREN TOWNSHIP 46425 TYLER ROAD BELLEVILLE, MI, 48111 PHONE: (734) 699-8930

E911 ADDRESSING: ORGANIZATION NAME: TBD CONTACT: TBD PHONE: TBD
 ZONING REQUIRED: SUP THRU PC AND TWP

STRUCTURAL REVIEW

CONTRACTOR SHALL ATTAIN AND VERIFY STRUCTURAL EVALUATION REPORT OF EXISTING TOWER FOR EXACT PLACEMENT OF ANTENNAS AND COAX CABLES. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE STRUCTURAL EVALUATION REPORT AND NOTIFY VERIZON'S CONSTRUCTION MANAGER IN THE CASE OF ANY DISCREPANCIES. ANY STRUCTURAL MODIFICATION, IF REQUIRED, SHALL BE DONE PRIOR TO THE INSTALLATION OF ANTENNAS.

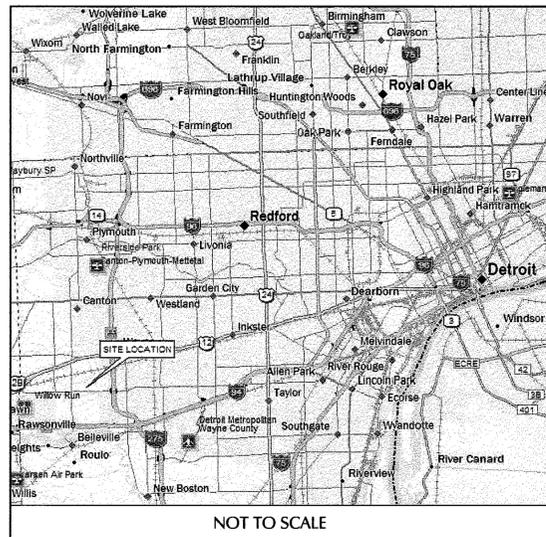
THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE CLIENT IS STRICTLY PROHIBITED.

Parallel
INFRASTRUCTURE

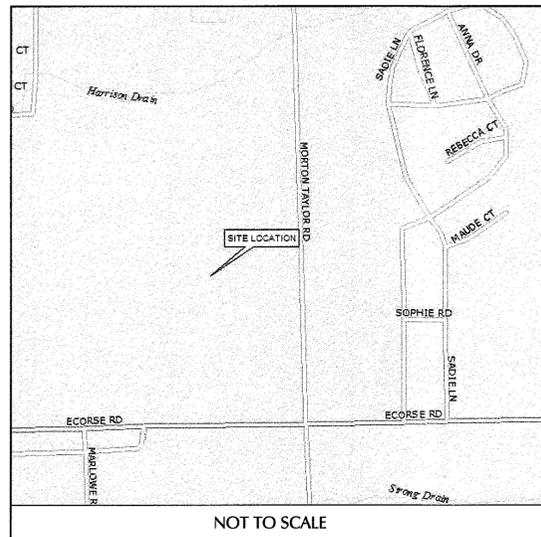
PI TELECOM INFRASTRUCTURE, LLC.
 C/O LENDLEASE AMERICAS, INC.

SITE NAME: MI-VAN BUREN-CREEDON
 SITE NUMBER: PIMI052
 TBD MORTON TAYLOR ROAD
 BELLEVILLE, MI 48111

VICINITY MAP



LOCATION MAP



DRIVING DIRECTIONS

FROM VERIZON OFFICE SOUTHFIELD, MI:
 GET ON I-696 W. HEAD NORTH ON NORTHWESTERN SERVICE DR TOWARD TELEGRAPH RD. TURN RIGHT ONTO TELEGRAPH RD. USE THE RIGHT LANE TO TAKE THE I-696 W/M-10 N/N W HWY RAMP TO LANSING. KEEP LEFT. FOLLOW SIGNS FOR I-696 W AND MERGE ONTO I-696 W. FOLLOW I-696 W AND I-275 S TO ECORSE RD IN VAN BUREN CHARTER TOWNSHIP. TAKE EXIT 20 FROM I-275 S. MERGE ONTO I-696 W. USE THE RIGHT 2 LANES TO TAKE EXIT 1 TO MERGE ONTO I-275 S/I-96 E TOWARD TOLEDO. KEEP RIGHT AT THE FORK TO CONTINUE ON I-275 S. FOLLOW SIGNS FOR INTERSTATE 275/M-14/ANN ARBOR/TOLEDO. TAKE EXIT 20 FOR ECORSE RD TOWARD ROMULUS. CONTINUE ON ECORSE RD. DRIVE TO MORTON TAYLOR RD. USE THE RIGHT 2 LANES TO TURN RIGHT ONTO ECORSE RD. TURN RIGHT ONTO MORTON TAYLOR RD. YOUR DESTINATION WILL BE ON THE LEFT.

PROJECT TEAM

SURVEYOR:
 NAME: LANDTECH
 ADDRESS: 1275 MCGREGOR WAY PO BOX 193
 GRAWN, MI 49637
 PHONE: (231) 943-0050

A&E ENGINEER:
 NAME: TELECAD WIRELESS SITE DESIGN
 ADDRESS: 1961 NORTHPOINT BLVD. SUITE 130
 HIXSON TN 37343
 CONTACT: STEVE HUNT
 PHONE: (423) 843-9500

GEOTECHNICAL/SOILS ENGINEERING:
 NAME: TBD
 ADDRESS: TBD
 CITY, STATE, ZIP: TBD
 CONTACT: TBD
 PHONE: TBD

REQUIRED PERMITS

- SOIL EROSION PERMIT FROM EITHER TWO OR WAYNE COUNTY
- APPROACH PERMIT FROM WAYNE COUNTY DPW
- 911 ADDRESS FROM THE TWP
- SHPO CLEARANCE
- NEPA APPROVAL
- FAA AND MICHIGAN TALL STRUCTURES PERMIT

SHEET INDEX

NO.	DESCRIPTION
T1	TITLE SHEET
S1	SURVEY PLAT
S2	SURVEY PLAT
IN-1	INDEX PAGE
IN-2	INDEX PAGE
Z1	OVERALL SITE LAYOUT PLAN
Z1A	OVERALL SITE LAYOUT PLAN
Z2	ENLARGE SIT PLAN
Z3	SITE DETAILS
Z3A	FENCE DETAILS
Z4	SITE DETAILS
Z5	SITE DETAILS
Z6	AREA MAP
Z7	WETLAND MAP
G1	EXISTING SITE LAYOUT
G2	EXISTING WATERSHED ANALYSIS
G3	SITE GRADING PLAN
G4	ACCESS ROAD GRADING PLAN
G5	ACCESS ROAD PROFILE
G6	SITE DETAILS

PROJECT DESCRIPTION:

- THE PROPOSED PROJECT INCLUDES:
- INSTALL NEW 125' MONOPOLE WITH 4' LIGHTNING ROD.
 - INSTALL NEW 20' WIDE GRAVEL ACCESS DRIVE W/ 20' WIDE ACCESS GATE.
 - INSTALL NEW ELECTRICAL AND GROUNDING SYSTEMS.
 - INSTALL NEW 11'-4" x 19'-6" PAD UNDER 11'-6" x 14'-9" OVERHEAD CANOPY
 - INSTALL NEW EMERGENCY GENERATOR AND 1000 GAL. PROPANE TANK

CODE COMPLIANCE

- | | |
|--------------------------------------------------------|------------------------------------|
| 1. UNIFORM BUILDING CODE. | 5. ANSI/EIA-222-G LIFE SAFETY CODE |
| 2. BUILDING OFFICIALS & CODE ADMINISTRATORS (BOCA) | NFPA-101. |
| 3. UNIFORM MECHANICAL CODE. | 6. UNIFORM PLUMBING CODE. |
| 4. INTERNATIONAL BUILDING CODE MICHIGAN ADDITION (IBC) | 7. NATIONAL ELECTRIC CODE. |
| | 8. LOCAL BUILDING CODE. |
| | 9. CITY/COUNTY ORDINANCES, |



1 (800) 482-7171

CONTRACTOR TO CALL MICHIGAN ONE-CALL SYSTEMS AT LEAST (2) WORKING DAYS PRIOR TO DIGGING.

SHEET SCALE FACTOR:

PLOT SIZE:
 24"x36": TO SCALE

Parallel
 INFRASTRUCTURE
 PI TELECOM INFRASTRUCTURE, LLC.
 C/O LENDLEASE AMERICAS, INC.
 909 LAKE CAROLYN PARKWAY, SUITE 260
 IRVING, TX 75039

verizon

TeleCAD
 Wireless
 1961 NORTHPOINT BLVD, SUITE 130
 HIXSON, TN 37343
 PH: 423-843-9500
 FAX: 423-843-9509

A&E PROJECT #:	N/A
DRAWN BY:	SBW
CHECKED BY:	CTD

REVISIONS

NO.	DATE	DESCRIPTION
1	11/17/17	REVISED ZONING ISSUE
2	09/26/17	ZONING ISSUE
3	02/01/17	ZONING ISSUE
4	12/06/16	PRELIMINARY REVIEW



SITE NAME: MI-VAN BUREN-CREEDON
 SITE NUMBER: PIMI052
 SITE ADDRESS: TBD MORTON TAYLOR ROAD BELLEVILLE, MI 48111
 DESIGN TYPE: ZONING

SHEET TITLE: TITLE SHEET

DRAWING NO.	REVISION:
T1	D

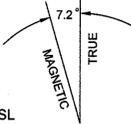
RECEIVED

DEC 0 1 2017

BY: _____

LATITUDE & LONGITUDE

LATITUDE AND LONGITUDE OF SITE ARE BASED ON NAD 83.
 LATITUDE: 42° 15' 08.66" N 42.252406°
 LONGITUDE: 83° 28' 07.49" W -83.468747°
 GROUND ELEVATION AT TOWER BASE: 680' AMSL
 ELEVATIONS ARE BASED ON NGVD29



SITE INFORMATION

SITE ADDRESS: 43430 ECORSE ROAD, BELLEVILLE, MI 48111
PROPERTY OWNER: PATRICK CREEDON, 43430 ECORSE ROAD, BELLEVILLE, MI 48111

PARCEL ID
 83-012-99-0028-000

PARENT PARCEL DESCRIPTION (as provided)

AN INTEREST IN LAND, SAID INTEREST BEING OVER A PORTION OF THE FOLLOWING DESCRIBED PARENT PARCEL:
 THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE TOWNSHIP OF VAN BUREN, COUNTY OF WAYNE, AND STATE OF MICHIGAN, AND PARTICULARLY DESCRIBED AS FOLLOWS:
 PART OF THE SOUTHEAST 1/4 OF SECTION 3, TOWN 3 SOUTH, RANGE 8 EAST, TOWNSHIP OF VAN BUREN, WAYNE COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SECTION 3; THENCE SOUTH 88 DEGREES 52 MINUTES WEST 680 FEET; THENCE NORTH 1320 FEET; THENCE NORTH 88 DEGREES 52 MINUTES EAST 680 FEET; THENCE SOUTH 1320 FEET TO THE POINT OF BEGINNING.
 AND BEING THE SAME PROPERTY CONVEYED TO PATRICK CREEDON FROM GMAC MORTGAGE LLC BY COVENANT DEED DATED DECEMBER 08, 2010 AND RECORDED FEBRUARY 01, 2011 IN DEED BOOK 48962, PAGE 201.
 TAX PARCEL NO. 83-012-99-0028-000

LEASED PREMISES DESCRIPTION

PART OF THE SOUTHEAST 1/4 OF SECTION 3, TOWN 3 SOUTH, RANGE 8 EAST, VAN BUREN TOWNSHIP, WAYNE COUNTY, MICHIGAN DESCRIBED AS:
 COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 3; THENCE NORTH 01°12'07" WEST ALONG THE EAST LINE OF SAID SECTION A DISTANCE OF 1,269.19 FEET; THENCE SOUTH 87°56'41" WEST A DISTANCE OF 33.00 FEET TO THE WEST RIGHT OF WAY OF MORTON TAYLOR ROAD (66' / PUBLIC); THENCE SOUTH 88°47'53" WEST A DISTANCE OF 45.00 FEET; THENCE NORTH 46°00'15" WEST A DISTANCE OF 28.16 FEET; THENCE SOUTH 87°56' 41" WEST A DISTANCE OF 411.70 FEET; THENCE SOUTH 43°05'28" WEST A DISTANCE OF 31.50 FEET; THENCE SOUTH 01°12'29" EAST A DISTANCE OF 22.78 FEET; THENCE SOUTH 87°56'41" WEST A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 87°56'41" WEST A DISTANCE OF 75.00 FEET TO THE WEST LINE OF THE ABOVE DESCRIBED PARENT PARCEL; THENCE NORTH 01°12'29" WEST ALONG THE WEST LINE OF SAID PARENT PARCEL A DISTANCE OF 75.00 FEET; THENCE NORTH 87°56'41" EAST A DISTANCE OF 75.00 FEET; THENCE SOUTH 01°12'29" EAST A DISTANCE OF 75.00 FEET TO THE POINT OF BEGINNING. DESCRIBED LEASED PREMISES CONTAINS 5,624 SQUARE FEET OR 0.129 ACRES. BEING PART OF THE PARENT PARCEL SET FORTH IN THAT CERTAIN COVENANT DEED, DATED DECEMBER 8, 2010, RECORDED ON FEBRUARY 1, 2011, IN LIBER 48962, PAGE 201-202, RECORDS OF WAYNE COUNTY, MICHIGAN.

ACCESS/UTILITY EASEMENT DESCRIPTION

AN EASEMENT FOR INGRESS/EGRESS AND THE INSTALLATION AND MAINTENANCE OF UTILITIES OVER/UNDER AND ACROSS ALL THAT PART OF THE SOUTHEAST 1/4 OF SECTION 3, TOWN 3 SOUTH, RANGE 8 EAST, VAN BUREN TOWNSHIP, WAYNE COUNTY, MICHIGAN DESCRIBED AS: THENCE NORTH 01°12'07" WEST ALONG THE EAST LINE OF SAID SECTION A DISTANCE OF 1,269.19 FEET; THENCE SOUTH 87°56'41" WEST A DISTANCE OF 33.00 FEET TO THE WEST RIGHT OF WAY OF MORTON TAYLOR ROAD (66' / PUBLIC); THENCE SOUTH 88°47'53" WEST A DISTANCE OF 45.00 FEET; THENCE NORTH 46°00'15" WEST A DISTANCE OF 28.16 FEET; THENCE SOUTH 87°56' 41" WEST A DISTANCE OF 411.70 FEET; THENCE SOUTH 43°05'28" WEST A DISTANCE OF 31.50 FEET; THENCE SOUTH 01°12'29" EAST A DISTANCE OF 22.78 FEET; THENCE SOUTH 87°56'41" WEST A DISTANCE OF 30.00 FEET TO THE SOUTHEAST CORNER OF THE ABOVE DESCRIBED LEASED PREMISES; THENCE NORTH 01°12'29" WEST ALONG THE EAST LINE OF SAID LEASED PREMISES A DISTANCE OF 75.00 FEET TO THE NORTH LINE OF THE PARENT PARCEL; THENCE NORTH 87°56'41" EAST ALONG SAID LINE A DISTANCE OF 476.01 FEET; THENCE SOUTH 46°00'15" EAST A DISTANCE OF 28.43 FEET; THENCE NORTH 88°47'53" EAST A DISTANCE OF 32.51 FEET TO SAID WEST RIGHT OF WAY; THENCE SOUTH 01°12'07" EAST ALONG SAID WEST RIGHT OF WAY A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING. DESCRIBED ACCESS/UTILITY EASEMENT CONTAINS 17,701 SQUARE FEET OR 0.406 ACRES. BEING PART OF THE PARENT PARCEL SET FORTH IN THAT CERTAIN COVENANT DEED, DATED DECEMBER 8, 2010, RECORDED ON FEBRUARY 1, 2011, IN LIBER 48962, PAGE 201-202, RECORDS OF WAYNE COUNTY, MICHIGAN.

GENERAL NOTES

NO PROPOSED MUNICIPAL SEWER OR WATER UTILITIES ARE REQUIRED FOR THIS SITE. THERE WILL BE NO CHANGE IN DRAINAGE PATTERN DUE TO THE PROPOSED INSTALLATION. NO SIGNIFICANT RUNOFF IS GENERATED BY THE PROPOSED INSTALLATION. NO WETLANDS AREAS HAVE BEEN INVESTIGATED BY THIS SURVEY. NO HAZARDOUS MATERIALS WILL BE USED, PROCESSED OR STORED AT THE SITE.
 TOWER LIGHTING SHALL CONFORM TO FAA STANDARDS AS REQUIRED. ALL WORK SHALL CONFORM TO FAA & FCC REGULATIONS.

CERTIFICATION :

TO: PI TOWER DEVELOPMENT LLC, A DELAWARE LIMITED LIABILITY COMPANY; ITS SUCCESSORS ASSIGNS AND/OR DESIGNEES AND FIDELITY NATIONAL TITLE INSURANCE COMPANY.
 I, MATTHEW T. MOKANYK, A MICHIGAN PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THE INFORMATION SHOWN HEREON WAS COMPILED USING DATA FROM AN ACTUAL FIELD SURVEY MADE UNDER MY DIRECT SUPERVISION AND THAT THE FIELD SURVEY AND COMPILATION OF INFORMATION SHOWN HEREIN WERE CONDUCTED IN ACCORDANCE WITH THE MICHIGAN STANDARDS OF PRACTICE; AND THAT THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY MEETS OR EXCEEDS THE REQUIREMENTS FOR A RURAL PARTIAL BOUNDARY SURVEY AS DEFINED UNDER ALTA/NSPS 2016 STANDARDS.

Matthew T. Mokanyk
 Matthew T. Mokanyk, P.S., P.E.
 Michigan P.S. No. 42063
 10/21/16
 Date

BEARINGS ARE BASED ON MICHIGAN STATE PLANE COORDINATES, SOUTH ZONE. NAD 83.

NOTES CORRESPONDING TO SCHEDULE B

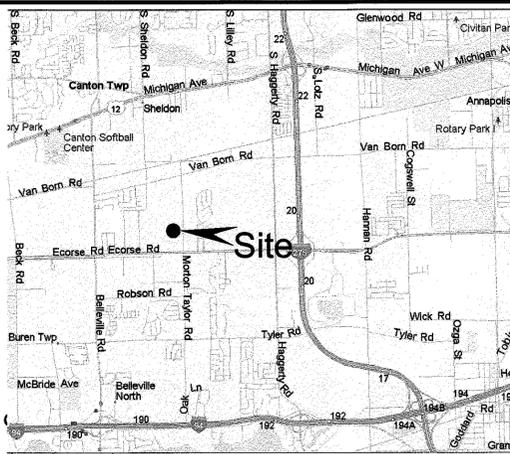
- THE COMMITMENT FOR TITLE INSURANCE ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. 23937788 WITH AN EFFECTIVE DATE OF SEPTEMBER 27, 2016 CONTAINS THE FOLLOWING SURVEY RELATED ITEMS:
- 9. EASEMENT FOR WATER MAIN IN FAVOR OF THE TOWNSHIP OF VAN BUREN, A MUNICIPAL CORPORATION OF THE COUNTY OF WAYNE, STATE OF MICHIGAN, SET FORTH IN INSTRUMENT RECORDED ON 08/22/1964 IN DEED BOOK 15371, PAGE 851. [AFFECTS PARENT PARCEL, DOES NOT AFFECT LEASED PREMISES OR ACCESS/UTILITY EASEMENT]
- 10. STRONG DRAIN ASSESSMENT, BY KERREEN CONLEY, WAYNE COUNTY DEPUTY DRAIN COMMISSIONER, RECORDED ON 08/02/2006 IN DEED BOOK 45070, PAGE 306. [AFFECTS PARENT PARCEL, NOT PLOTTABLE IN NATURE]
- 11. MICHIGAN OPEN-END MORTGAGE FROM PATRICK CREEDON AND JANINE GRADY-CREEDON, HUSBAND AND WIFE, GRANTOR(S), IN FAVOR OF GREENSTONE FARM CREDIT SERVICES, FLCA, DATED 10/18/2013, AND RECORDED 10/22/2013 IN DEED BOOK 51133, PAGE 648, IN THE ORIGINAL AMOUNT OF \$100,900.00. [AFFECTS PARENT PARCEL, NOT PLOTTABLE IN NATURE]

LANDSCAPING REQUIREMENTS

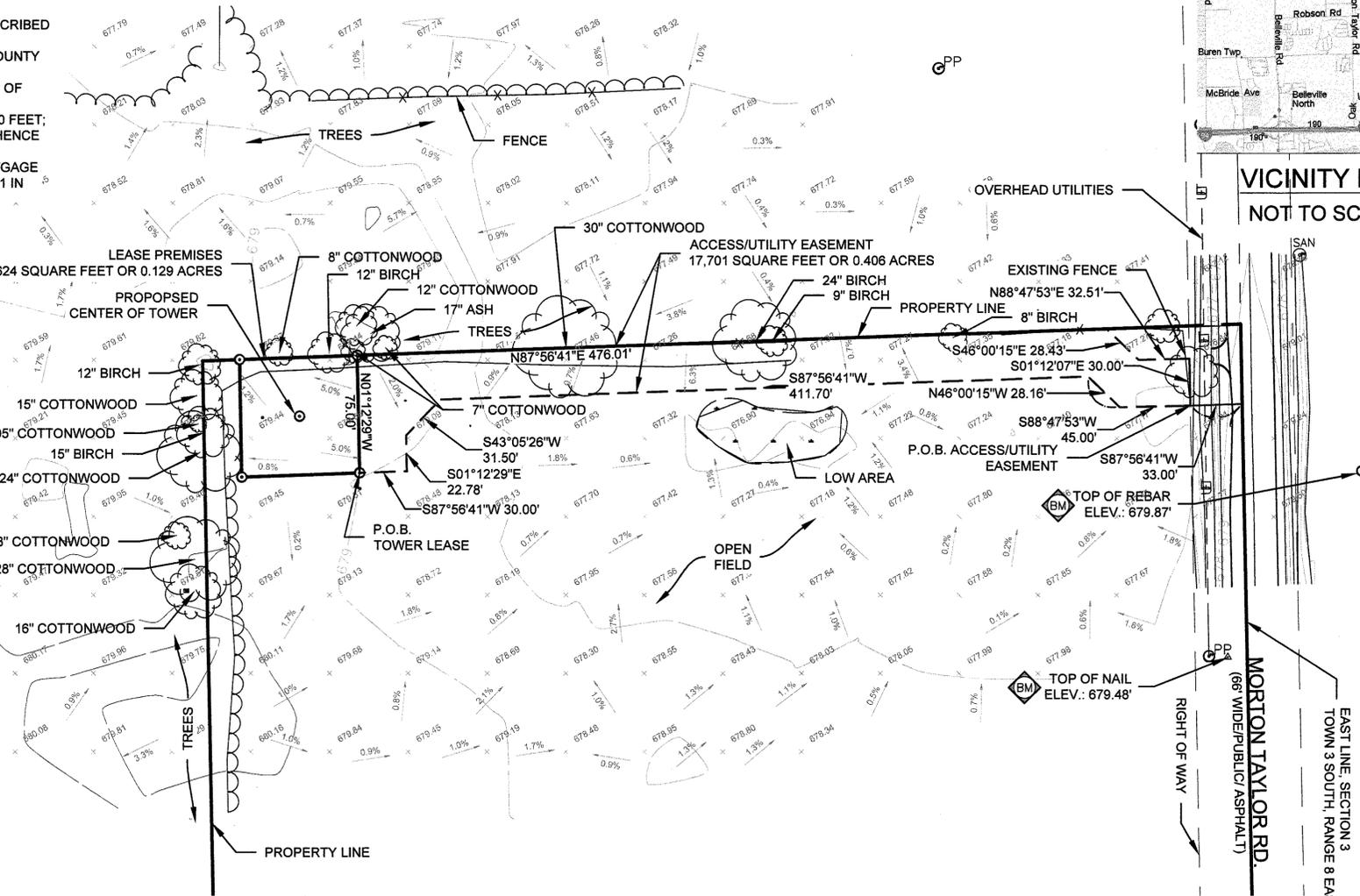
SITE REQUIRES LANDSCAPING, SEE CONSTRUCTION DRAWINGS FOR DETAILS

UTILITY PROVIDERS

POWER COMPANY: DTE 1-800-477-4747
 TELEPHONE SERVICE: AT&T 1-800-288-2020



VICINITY MAP
 NOT TO SCALE

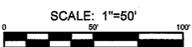


ZONING INFORMATION

SUBJECT SITE ZONING: R-1B
 ADJACENT ZONING:
 NORTH: R-1B
 SOUTH: R-1B
 EAST: R-1B
 WEST: R-1B

TOWER SETBACKS:
 FRONT: 1' FOR EVERY 5' OF TOWERR HEIGHT PLUS ZONING DISTRICT SETBACK
 REAR: 1' FOR EVERY 5' OF TOWERR HEIGHT PLUS ZONING DISTRICT SETBACK
 SIDES: 1' FOR EVERY 5' OF TOWERR HEIGHT PLUS ZONING DISTRICT SETBACK

SURVEY PLAN



TITLE RESOLUTION

LANDTECH SURVEYING HAS RECEIVED AND REVIEWED THE TITLE COMMITMENT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, DATED EFFECTIVE SEPTEMBER 27, 2016, BEING COMMITMENT NO. 23937788, TO DETERMINE THE IMPACTS OF EXISTING TITLE EXCEPTIONS.

- IRON FOUND
- IRON SET
- P.K. NAIL FOUND
- P.K. NAIL SET
- GPS MONUMENT
- MONUMENT BOX FOUND
- MONUMENT FOUND
- MONUMENT SET
- RECORD
- MEASURED
- STORM MANHOLE
- CATCH BASIN
- SQUARE CATCH BASIN
- SANITARY MANHOLE
- SANITARY CLEAN-OUT
- MONITOR WELL
- TELECO. MANHOLE
- POWER POLE
- GLY
- LIGHT POLE
- ELECTRIC TRANSFORMER
- ELECTRIC METER
- ELECTRIC HANDHOLE
- WATER VALVE
- HYDRANT
- GAS METER
- GAS MARKER
- GAS VALVE
- TELEPHONE PEDESTAL
- SIGN POST
- FENCE LINE
- BENCHMARK

LEGEND
 ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

Parallel
INFRASTRUCTURE
 4601 TOUCHTON ROAD EAST,
 BLDG. 300, SUITE 3200
 JACKSONVILLE, FL 32246

New Par, a Delaware Partnership dba
verizon
 wireless

LANDTECH PROJECT NO. NGVD29 24x36

REV.	DATE	DESCRIPTION	REQ. BY	BY
0	10/24/16	PRELIMINARY DRAWINGS	SEH	RJH
1	11/07/16	LEASE MOVE	DS	RJH
2	11/14/16	TITLE REVIEW	DS	RJH
3	07/25/17	CERTIFICATION	DS	RJH
4	09/27/17	ADD. TOPO, TREES, ESMT.	DS	RJH

DRAWING SCALE NOTE: THE DRAWINGS ARE DESIGNED FOR 11"x17" (TABLOID/LEGAL) SIZED PAPER, WHERE MUNICIPALITIES REQUIRE 24"x36" COPIES OF PRINTS, LANDTECH SHALL PLOT THE DRAWINGS AT A RATIO OF 2:1. ALL SUCH COPIES SHALL HAVE A SCALE 1/2 THE SHOWN SIZE.

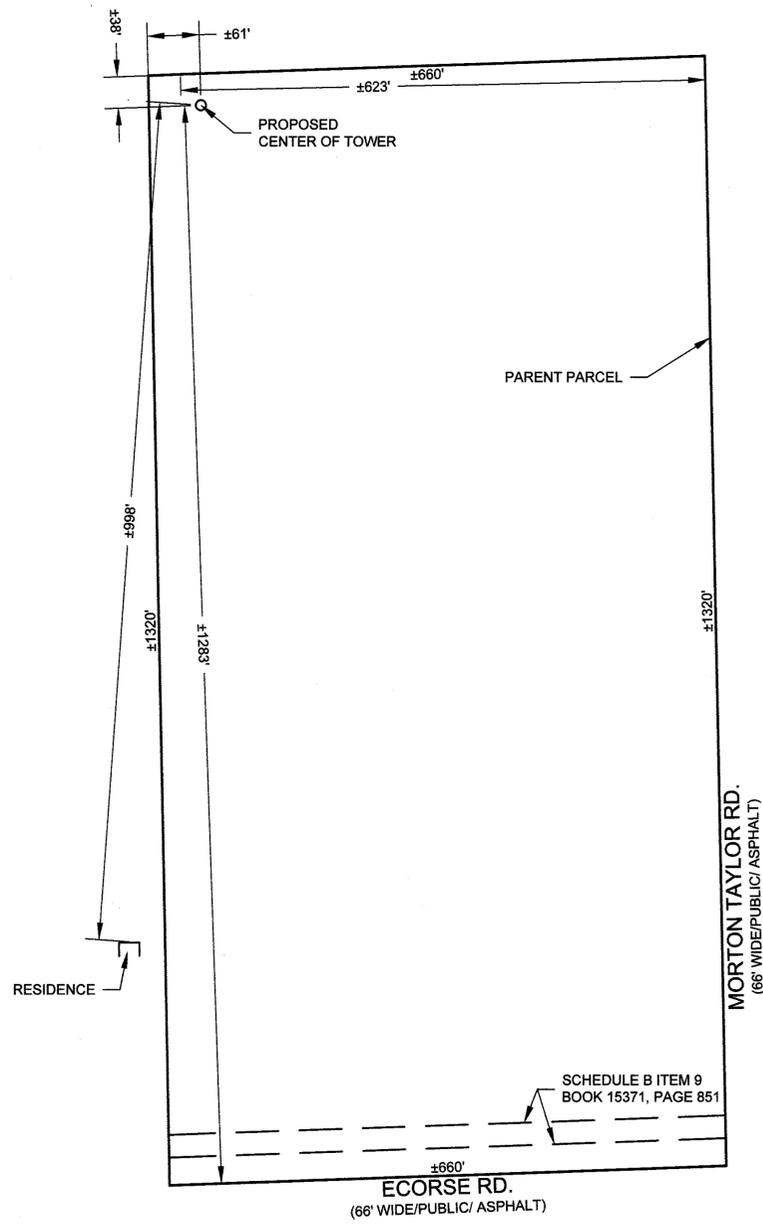
TeleCAD
 Wireless
 1961 NORTHPOINT BLVD, SUITE 130
 HIXSON, TN 37343
 PH: 423-843-9500 FAX: 423-843-9509

LANDTECH
 PROFESSIONAL SURVEYING & ENGINEERING
 AL, AR, AZ, CO, FL, GA, IL, IA, IN, KS, KY, LA, MI, MN, MO, NE, NC, ND, NJ, NY, OH, OK, PA, SC, SD, TN, TX, VA, WV, WI
 231.943.0050ph 877.820.LAND toll free
 www.landtechps.com www.towersurveyors.com

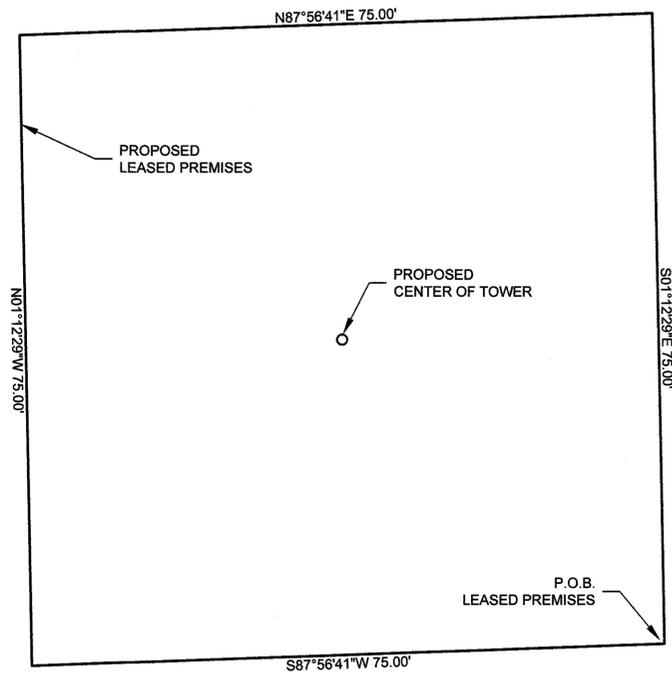
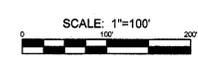
MI-VAN
BUREN-CREEDEN
PIMI052
 SITE ADDRESS:
 43430 ECORSE ROAD
 BELLEVILLE, MI 48111
 COUNTY: WAYNE COUNTY

Sheet Title:
SURVEY PLAT
 Sheet Number:
S-1

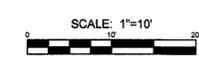




PARENT PARCEL DETAIL N



LEASED PREMISES DETAIL N



LEGEND	
● IRON FOUND	○ ³¹⁵ STORM MANHOLE
○ IRON SET	⊕ CATCH BASIN
• P.K. NAIL FOUND	⊞ SQUARE CATCH BASIN
• P.K. NAIL SET	○ ³¹⁵ SANITARY MANHOLE
⊙ GPS MONUMENT	⊙ SANITARY CLEAN-OUT
○ MONUMENT BOX FOUND	⊙ MONITOR WELL
⊙ MONUMENT FOUND	⊙ TELCO MAN-HOLE
⊙ MONUMENT SET	⊙ ELECTRIC METER
(R) RECORD	⊙ ^{EH} ELECTRIC HANDHOLE
(M) MEASURED	
	⊙ LIGHT POLE
	⊞ ELECTRIC TRANSFORMER
	--- POWER POLE
	--- GUY
	--- WATER VALVE
	--- HYDRANT
	--- GAS METER
	--- GAS MARKER
	--- GAS VALVE
	⊙ TELEPHONE PEDESTAL
	○ SIGN POST
	--- FENCE LINE
	⊙ BENCHMARK

ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

Parallel
INFRASTRUCTURE
4601 TOUCHTON ROAD EAST,
BLDG. 300, SUITE 3200
JACKSONVILLE, FL 32246

New Par, a Delaware Partnership dba
verizon
wireless

LANDTECH PROJECT: 1830930-NGVD29 24x36

REV.	DATE	DESCRIPTION	REQ. BY	BY
0	10/24/16	PRELIMINARY DRAWINGS	SEH	RJH
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231.943.0050ph 877.820.LAND toll free
www.landtechps.com www.towersurveyors.com

MI-VAN
BUREN-CREEDEN
PIMI052
SITE ADDRESS:
43430 ECORSE ROAD
BELLEVILLE, MI 48111
COUNTY: WAYNE COUNTY

Sheet Title:
SURVEY PLAT

Sheet Number:
S-2



TeleCAD
Wireless
1961 NORTHPOINT BLVD, SUITE 130
HIXSON, TN 37343
PH: 423-843-9500
FAX: 423-843-9509

A&E PROJECT #:	N/A
DRAWN BY:	SBW
CHECKED BY:	CTD

REVISIONS		
NO.	DATE	DESCRIPTION
△	11/17/17	REVISED ZONING ISSUE
△	09/26/17	ZONING ISSUE
△	02/01/17	ZONING ISSUE
△	11/28/16	PRELIMINARY REVIEW

FOR REFERENCE

SITE NAME:	MI-VAN BUREN-CREEDON
SITE NUMBER:	PIMI052
SITE ADDRESS:	TBD MORTON TAYLOR ROAD BELLEVILLE, MI 48111
DESIGN TYPE:	ZONING

SHEET TITLE:
INDEX

DRAWING NO.	REVISION:
IN-1	D

Table 9: Site Plan Required Information

PAGE	Site Plan Required Information	Preliminary Site Plan	Final Site Plan	Administrative Review
T-1	Title and date of plan, including the date and nature of all subsequent revisions.	•	•	•
Z-1	North arrow and scale. The scale shall be not less than 1 inch equals 50 feet for property under 3 acres and at least 1 inch equals 100 feet for those 3 acres or more.	•	•	•
T-1	Location map showing the site in relation to existing roads and developments within the Township.	•	•	•
Z-1	The dimensions of all lot and property lines, showing the relationship of the subject property to abutting properties.	•	•	•
S-2	Boundary of the tract shown by a heavy line: a legal description or the parcel and the acreage.	•	•	•
Z-1, 2	Zoning classification of the petitioner's parcel and all abutting parcels.	•	•	•
Z-1	The location and height of all existing and proposed structures on and within 100 feet of the subject property.	•	•	•
Z-1, MAP	The location and the pavement and right of way width of all abutting roads and streets and driveway locations on abutting public streets.	•	•	•
T-1	The name, address and telephone number of the property owner or petitioner.	•	•	•
T-1	The name, firm, address and telephone number of the professional civil engineering or architectural firms responsible for the preparation of the site plan (including imprint of professional seal).	•	•	•
T-1	Notation of Township, County or State license, permits required and/or secured.	•	•	•
Z-1	A note to pick up debris within property limits weekly or as needed.	•	•	•
T-1	A statement on intended phases of the project.	•	•	•
T-1	A description of the proposed use including the nature of the proposed use and other general information describing the use.	•	•	•
Z-1A	Existing and proposed topography with contours at 2 foot intervals (based on USGS datum), extending a minimum of 200 feet beyond site boundaries.	•	•	•
T-1	Description of soil erosion and sedimentation control measures.	•	•	•
S-1	Location of clusters of trees on site and all existing trees five (5) inches or greater in diameter.	•	•	•
Z-7	Location of existing wetlands.	•	•	•
Z1, Z1A	Location of flood plains drainage courses, lakes, ponds, drains, rivers and streams including their water surface elevation, flood plain elevation and normal high water elevation.	•	•	•
Z1A	Soil characteristics of the parcel to at least the detail provided by the U. S. Soil and Conservation Service "Soil Survey of Wayne County."	•	•	•
Z1A	On parcels more than 1 acre, a grading plan showing finished contours at a maximum interval of 2 feet, correlated with existing contours so as to indicate required cutting, filling and grading.	•	•	•

PAGE	Site Plan Required Information	Preliminary Site Plan	Final Site Plan	Administrative Review
Z-2	A schedule of parking needs. Separate drawings may be submitted to indicate usable floor areas, etc. for computation of parking needs. Each individual parking space shall be indicated including typical parking space dimensions for regular and handicapped spaces and type of lot surfacing.	•	•	•
Z-1, Z-1A	A note specifying maintenance of paved surfaces and other improvements as follows: "Paved surfaces, walkways, signs, lighting and other structures and surfaces shall be maintained in a safe, attractive condition as originally designed and constructed. Parking lot striping and markings shall be maintained in a clearly visible condition."	•	•	•
N/A	The location of all rubbish receptacles and the location, height and type of fences and walls to screen receptacles.	•	•	•
N/A	Location of existing and proposed fire hydrants, water mains, pump houses, stand pipes, building services and sizes including proposed connections to public sewer or water supply systems and/or considerations for extensions to loop other public water mains in adjacent public rights of way.	•	•	•
Z-1, Z-1A	Location and dimension of required easements for public right-of way, utilities, access and shared access.	•	•	•
Z1A	The proposed finish grade of buildings, driveways, walkways, parking lots and lawned areas.	•	•	•
N/A	Proposed sanitary sewer facilities and location of all existing utilities, easements, vacations and the general placement of line, tie ins to buildings, pump stations and lift stations.	•	•	•
N/A	Description of a feasible storm drainage system and proposed storm sewer facilities (sewers and appurtenances) including catch basins, outlets, enclosed or open ditches and proposed swales for the retention of off-site drainage.	•	•	•
N/A	Storm water calculations permit review of any proposed retention of drainage off site.	•	•	•
Z-5	Front, rear and side elevations of proposed buildings and proposed type of building materials, roof design, projections, canopies and overhangs, screen walls and accessory buildings, and any other outdoor mechanical equipment, i.e., air conditions, heating units, etc.	•	•	•
N/A	Traffic and pedestrian circulation patterns both within the site and on the public streets adjacent to the site and the proposed location and dimensions of any pedestrian sidewalks, malls and open areas for parks and recreation either required or otherwise deemed necessary by the Planning Commission. A concrete sidewalk 5 feet in width shall be provided within the public right of way 1 foot from the subject site's property line where the subject site borders a public right of way.	•	•	•
Z-3	Entrance details including sign locations and size.	•	•	•
Z-3, Z-3A	Plans and specifications (height, cross sections materials) for greenbelts, berms, fences, walls or other protective barriers required by this Ordinance.	•	•	•
Z-1, Z-1A	Designation of fire lanes.	•	•	•
Z-2, 3	Detailed landscape plan (including topography and utilities above and below ground) sealed by a registered landscape architect in conformance with the requirements of <i>Article 10</i> of this Ordinance, indicating the location, type and size of trees, plants, berms etc.	•	•	•

PAGE	Site Plan Required Information	Preliminary Site Plan	Final Site Plan	Administrative Review
Z-2	A note specifying annual landscape maintenance procedures such as the following: "Owner agrees to seasonal maintenance program and will replace all diseased, dead or damaged plants, replenish mulch, control weeds, fertilize and prune beginning upon completion of construction of landscaping."	•	•	•
Z-4, Z-5	The location and type of outdoor lighting, proposed illumination patterns (including a photometric plan), and method of screening to prevent glare onto adjacent properties.	•	•	•
Z-3A	The location, height and area of all signs.	•	•	•
N/A	The location of any outdoor storage of material(s) and the manner in which it shall be screened or covered.	•	•	•
Z-1, Z-1A	Information and plans for the storage, loading, disposal and transfer of any hazardous/toxic waste (gas, oil, transmission fluid, lubricants, solvents, etc.). If any underground tank is used, the location, size, construction and use of the tank shall be specified on the site plan.	•	•	•
N/A	Information and special data which may be critical to the adequate review of the proposed use and its impact on the site or Township. Such data requirements may include traffic studies (<i>Section 9.106(H)</i>), market analysis, site investigation report, environmental assessments (including inventory and impact data on flora, fauna, natural resources, hazardous materials, erosion control and pollution), demands on public facilities and services and estimates of potential costs to the Township due to failures as a basis for performance guarantees.	•	•	•
N/A	Recreation and open space areas for residential development projects shall be provided where deemed necessary by the Planning Commission.	•	•	•
N/A	Other data which the Township may reasonably deem necessary for adequate review.	•	•	•
N/A	With residential proposals a site summary indicating the number and location of 1 bedroom units, 2 bedroom units, etc. typical floor plans with the square feet of floor areas; density computation; recreation facilities; open spaces; street names; and lot coverage. A statement as to whether the project is to be a condominium, cooperative or rental shall also be provided.	•	•	•
Z-1	With nonresidential proposals, the number of offices, number of employees, the number of floors, typical floor plans and the gross and usable floor area shall be provided.	•	•	•
N/A	With residential proposals, details of a community building, swimming pool and fencing and carport locations, if proposed shall be provided.	•	•	•
N/A	Information regarding the number of times separate plans have been submitted to the Township for review of additions or alterations to the existing building or site in the past.	•	•	•
ALL PAGES	Clear documentation for all proposed changes to the existing site, building or land use.	•	•	•
	The Declaration of Protective Covenants, Conditions and Restricts, (CC&Rs), or some other document with similar provisions, if proposed or anticipated by the property owner.	•	•	•



A&E PROJECT #:	N/A
DRAWN BY:	SBW
CHECKED BY:	CTD

REVISIONS		
NO.	DATE	DESCRIPTION
11/17/17		REVISED ZONING ISSUE
09/26/17		ZONING ISSUE
02/01/17		ZONING ISSUE
11/28/16		PRELIMINARY REVIEW

REFERENCE ONLY

SITE NAME:	MI-VAN BUREN-CREEDON
SITE NUMBER:	PIMI052
SITE ADDRESS:	TBD MORTON TAYLOR ROAD BELLEVILLE, MI 48111
DESIGN TYPE:	ZONING
SHEET TITLE:	INDEX

DRAWING NO.	REVISION:
IN-2	D

NEPA REVIEW BY G2
CONSULTING GROUP

PAGE	Required Content of a Site Investigation Report
	<p>Water Resources: A description of the impact on water resources including:</p> <ul style="list-style-type: none"> • Potential for surface water contamination and efforts to protect surface water bodies. • Potential for groundwater contamination and effects to protect groundwater. • The effect of any water discharges. • Increased storm water runoff or alteration of natural drainage. • A description of the water quality of both surface and groundwater. • A description of the susceptibility of the project to flooding. • A description of any wetlands impact. • An analysis of prevailing winds, including impacts of odors and efforts to mitigate odor, control of fugitive dust emissions, road dust, et al.
	<p>Terrestrial Ecosystems: The impact on terrestrial ecosystems (the relationship between the land resources and the organisms which depend upon it) including a description or the impact on the following:</p> <ul style="list-style-type: none"> • The vegetation and habitat, describing in particular whether there would be any alteration and/or loss to the vegetation and habitat. • The impact on wildlife including any disruption of habitat and whether the project would affect any endangered or rare species of wildlife, wetland inventories and migratory bird habitats.
	<p>Aquatic Ecosystems: The environmental impact on aquatic ecosystems (the relationship between the water resources and the organisms which depend on it) which shall include summary of the impact on the following:</p> <ul style="list-style-type: none"> • The fish species including the impact on the type and number of fish species. • The effect on the habitat including whether the habitat will be altered or disrupted.
	<p>Cultural Environment: The environmental impact on the actual cultural environment which shall include a summary of the following:</p> <ul style="list-style-type: none"> • The effect on neighboring land and water uses. • The impact on economic and social conditions including the economy, lifestyles, changes in property values, alterations in potential development options of the surrounding neighborhoods. • Social impact analysis including changes and impacts on individuals in the community affected by the activity which may include aesthetic and psychological impact. • The effect on the habitat including whether the habitat will be altered or disrupted. • The impact on community facilities and services including, but not limited to schools, roads, police and fire services, etc. An impact analysis of local roads and traffic patterns surrounding and including the site before, during and after construction shall be provided.

- (C) **Modifications.** The Planning Commission shall have the function, duty and power to require any modification in the site investigation report or impose any condition upon approval of any project which requires a site investigation report to ensure that the purpose and intent of the Van Buren Township Zoning Ordinance is fulfilled.
- (D) **Alternatives.** The site investigation report shall include a discussion of all prudent and feasible alternatives for the proposed activity on the subject site.
- (E) **Appeal.** The decision of the Planning Commission with respect to the site investigation report approval is appealable to the Township Board of Zoning Appeals in accordance with Article 12, Chapter 4.

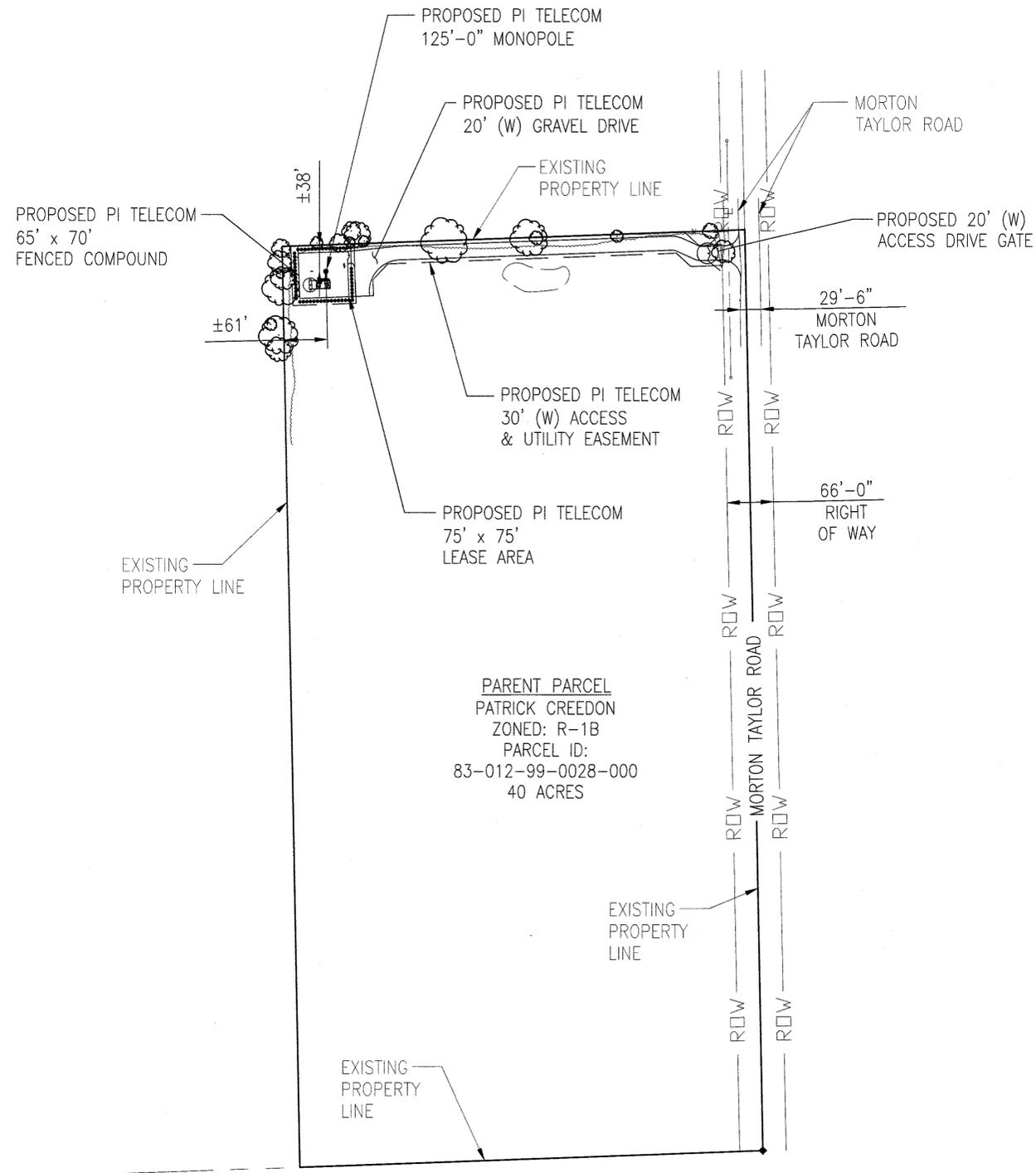
Section 12.205 Review Procedures

- (A) **Site Plan Review.** For site plan review applications described in Section 12.201(A), the site plan review procedures are as follows:

PAGE	Site Plan Required Information	Preliminary Site Plan	Final Site Plan	Administrative Review
N/A	For sites with regular truck traffic, a truck circulation diagram indicating the type and volume of truck traffic anticipated at the site and defining all truck access and circulation lanes and truck loading/unloading areas on the site plan. The diagram must include the dimensions of trucks anticipated at the site and must show all existing and proposed truck circulation patterns, including the direction and flow of truck traffic on the site, turning radii, and sufficient maneuvering space and pavement design to accommodate trucks in accordance with the American Association of State Highway and Transportation Officials or another standard specified by the Township Engineer.	•	•	
N/A	Any other information as required by the Planning Commission or Director of Planning which will assist in evaluation of the proposed use.	•	•	•
<p>Section 12.204 Site Investigation Report</p> <p>It is the intent of this Section to ensure that the purpose and intent of the Van Buren Township Zoning Ordinance as set forth is fulfilled through the submittal of a "Site Investigation Report" which contains the information as provided in this Section.</p> <p>(A) Approval. The Planning Commission shall have the function, duty and power to approve or disapprove or to approve subject to compliance with certain modifications and conditions, the site investigation report, in accordance with the purpose and intent of the Zoning Ordinance.</p> <p>(B) Submittal. A site investigation report may be requested by the Planning Commission for sites with known or suspected environmental sensitivity or for development of high intensity with certain modifications and conditions in accordance with the purpose and intent of the Zoning Ordinance along with the materials and in conformance with the requirements as specified in the following:</p>				
<p>Required Content of a Site Investigation Report</p>				
T-1, Z-1, Z1-A	Project Description: A description of the proposed project including the location, purpose and extent of the project.			
T-1	Zoning and Building Requirements: The existing zoning and building requirements for the proposed project.			
T-1	Required Permits: Whether any local, State and Federal permits are required for the project and if so, a designation of those required local, State and Federal permits.			
ALL PAGES	<p>Natural and Cultural Features: A description of the natural and cultural features of the project including but not necessarily limited to:</p> <ul style="list-style-type: none"> • A description of the topography of the land and soil. • The existing water resources including surface water, groundwater, drainage, flood plains and wetlands, water quality and the effect of the project on any aquifer and neighboring wells. • A description of the existing vegetation, habitat and wildlife. • A description of the proposed land use, water use, economic, and social conditions, any archaeological and historical resources and community facilities and services which are in existence. 			
	Topography and Soils: A description of the impact on the topography and soils including any disruption, erosion, etc.			

NOTES:

- DIMENSIONS SHOWN ARE TO THE CLOSEST PROPERTY LINES. FOR ALL DIMENSIONS TO ALL PROPERTY LINES SEE SHEET S-2.
- NO COMMERCIAL ADVERTISING WILL BE PERMITTED ON THE TOWER OR THE LEASED PREMISES.
- NO HAZARDOUS MATERIAL WILL BE STORED ON SITE AT ANYTIME.
- NO EMPLOYEES WILL BE ON SITE ON A PERMANENT BASIS.
- PICK UP DEBRIS WITHIN PROPERTY LIMITS WEEKLY OR AS NEEDED.
- NO LAKES, PONDS, DRAINS, RIVERS, OR STEAMS ARE ON THE PARENT PARCEL.
- PAVED SURFACES, WALKWAYS, SIGNS, LIGHTING AND OTHER STRUCTURES AND SURFACES SHALL BE MAINTAINED IN A SAFE, ATTRACTIVE CONDITION ORIGINALLY DESIGNED AND CONSTRUCTED. PARKING LOT STRIPING AND MARKINGS SHALL BE MAINTAINED IN A VERY CLEARLY VISIBLE CONDITION.
- ACCESS DRIVEWAY WILL BE DESIGNED TO HOLD THE WEIGHT OF A FIRE TRUCK 55,000 POUND AXLE LOAD.



ALL ADJOINING PARCELS
ZONED R-1B

Parallel
INFRASTRUCTURE
PI TOWER DEVELOPMENT, LLC.
7411 FULLERTON STREET, SUITE 110
JACKSONVILLE, FL 32256
PH: (904) 450-4830

verizon

TeleCAD
Wireless
1961 NORTHPOINT BLVD, SUITE 130
HIXSON, TN 37343
PH: 423-843-9500
FAX: 423-843-9509

A&E PROJECT #:	N/A
DRAWN BY:	SBW
CHECKED BY:	CTD

REVISIONS		
NO.	DATE	DESCRIPTION
△	11/17/17	REVISED ZONING ISSUE
△	09/26/17	ZONING ISSUE
△	02/01/17	ZONING ISSUE
△	11/28/16	PRELIMINARY REVIEW



SITE NAME:
MI-VAN BUREN-CREEDON

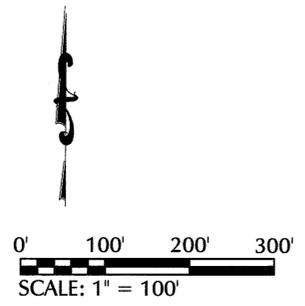
SITE NUMBER:
PIM1052

SITE ADDRESS:
**TBD MORTON TAYLOR ROAD
BELLEVILLE, MI 48111**

DESIGN TYPE:
ZONING

SHEET TITLE:
**OVERALL SITE
LAYOUT PLAN**

DRAWING NO. **Z1** REVISION: **D**



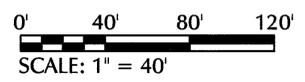
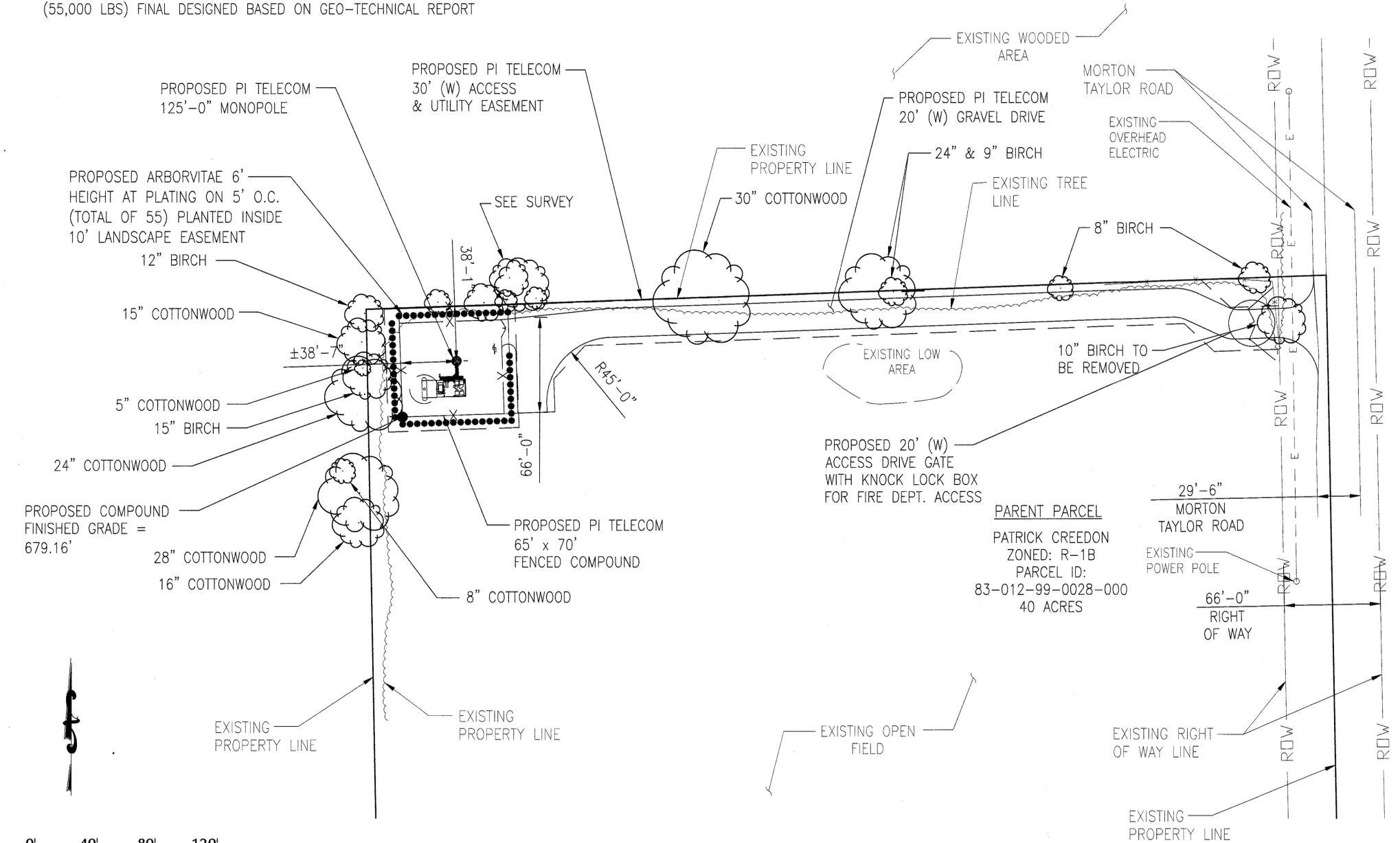
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- ACCESS DRIVEWAY WILL BE DESIGNED TO HOLD THE WEIGHT OF FIRE TRUCKS. (55,000 LBS) FINAL DESIGNED BASED ON GEO-TECHNICAL REPORT

ALL ADJOINING PARCELS
ZONED R-1B

SOIL CLASSIFICATION PE-PEWAMO LOAM BY THE
USDA NATURAL RESOURCES CONSERVATION
SERVICE SOIL SURVEY OF WAYNE COUNTY

SEE GRADING PAGES G-1
THROUGH G-6 FOR ALL
DRAINAGE, ROAD, AND
CULVERT DESIGNS.



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STATE OF MICHIGAN
STEPHEN E. HUNT
ENGINEER
No. 6201054168
PROFESSIONAL ENGINEER
11/17

SITE NAME:	MI-VAN BUREN-CREEDON
SITE NUMBER:	PIMI052
SITE ADDRESS:	TBD MORTON TAYLOR ROAD BELLEVILLE, MI 48111
DESIGN TYPE:	ZONING

SHEET TITLE:
**OVERALL SITE
LAYOUT PLAN**

DRAWING NO.	REVISION:
Z1A	D

NO SIGNS SHALL BE ON AN ANTENNA OR TOWER, EXCEPT EMERGENCY CONTACT SIGN

PROPANE TANK IS TO BE USED FOR OPERATING THE EMERGENCY GENERATOR ONLY.

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SITE NAME:
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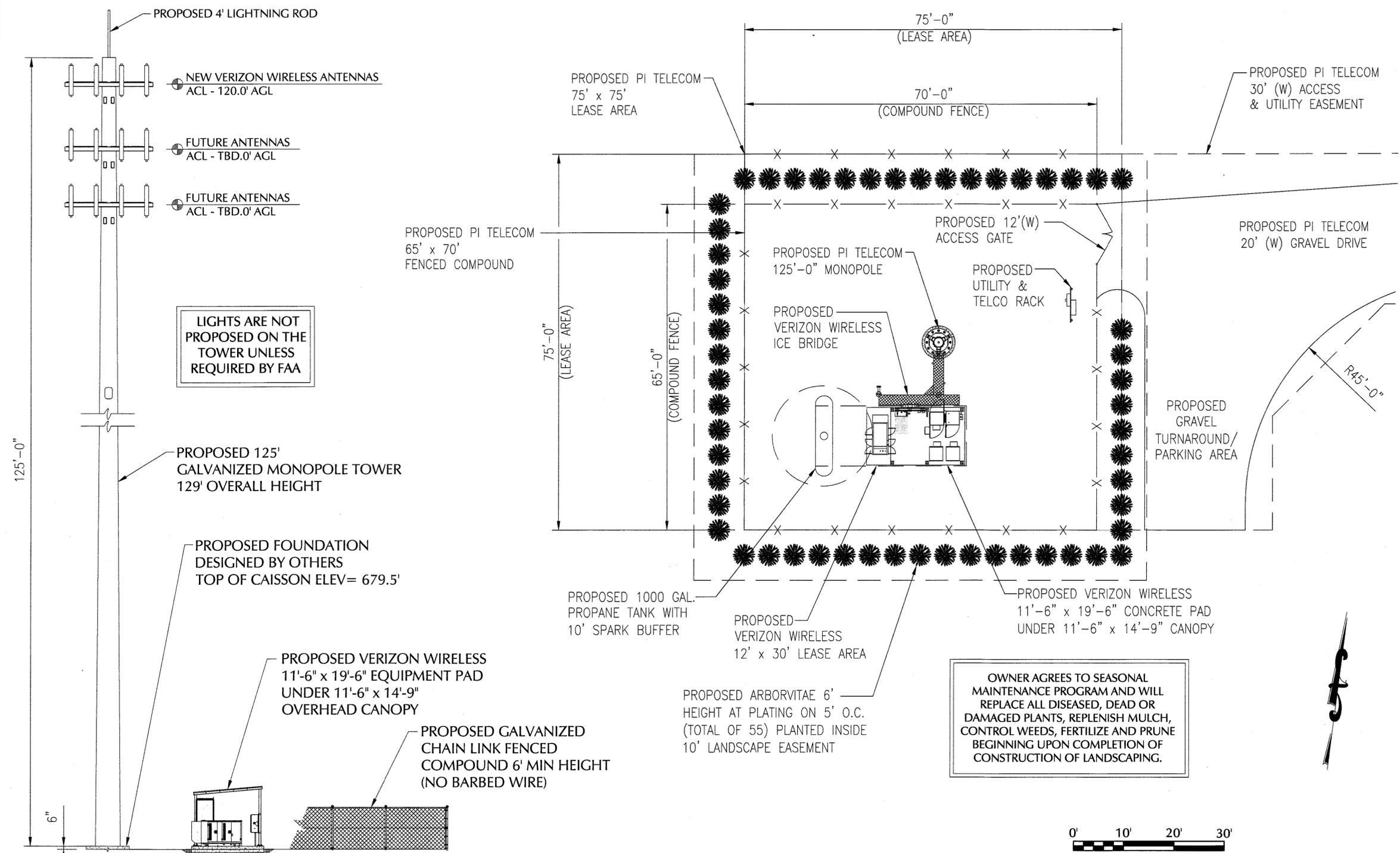
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PIM052

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**TBD MORTON TAYLOR ROAD
BELLEVILLE, MI 48111**

DESIGN TYPE:
ZONING

SHEET TITLE:
ENLARGED SITE PLAN

DRAWING NO. **Z2** REVISION: **D**

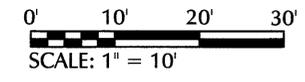


LIGHTS ARE NOT PROPOSED ON THE TOWER UNLESS REQUIRED BY FAA

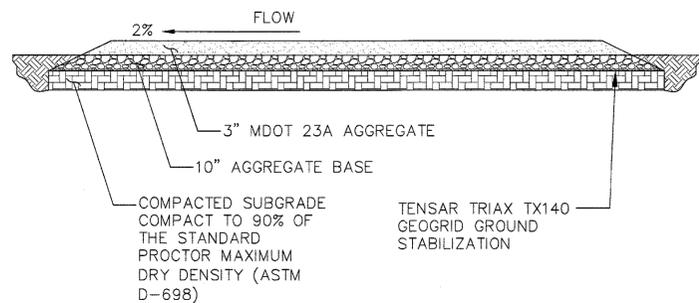
125'-0"

6"

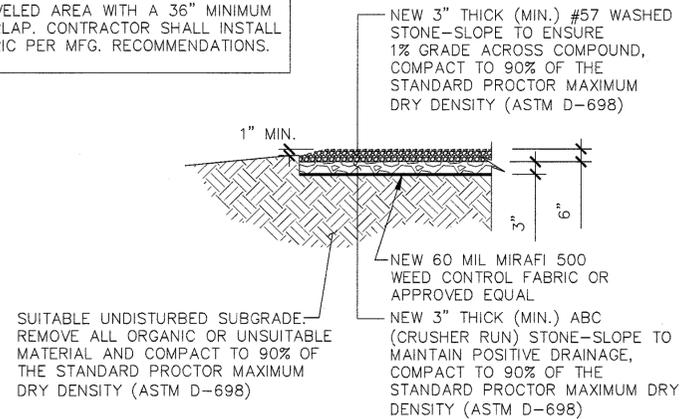
TOWER ELEVATION



NOTE:
WEED CONTROL FABRIC SHALL BE USED UNDER ACCESS DRIVE WITH A 36" MINIMUM OVERLAP. CONTRACTOR SHALL INSTALL FABRIC PER MFG. RECOMMENDATIONS.



NOTE:
WEED CONTROL FABRIC SHALL BE USED UNDER ENTIRE PROPOSED GRAVELED AREA WITH A 36" MINIMUM OVERLAP. CONTRACTOR SHALL INSTALL FABRIC PER MFG. RECOMMENDATIONS.



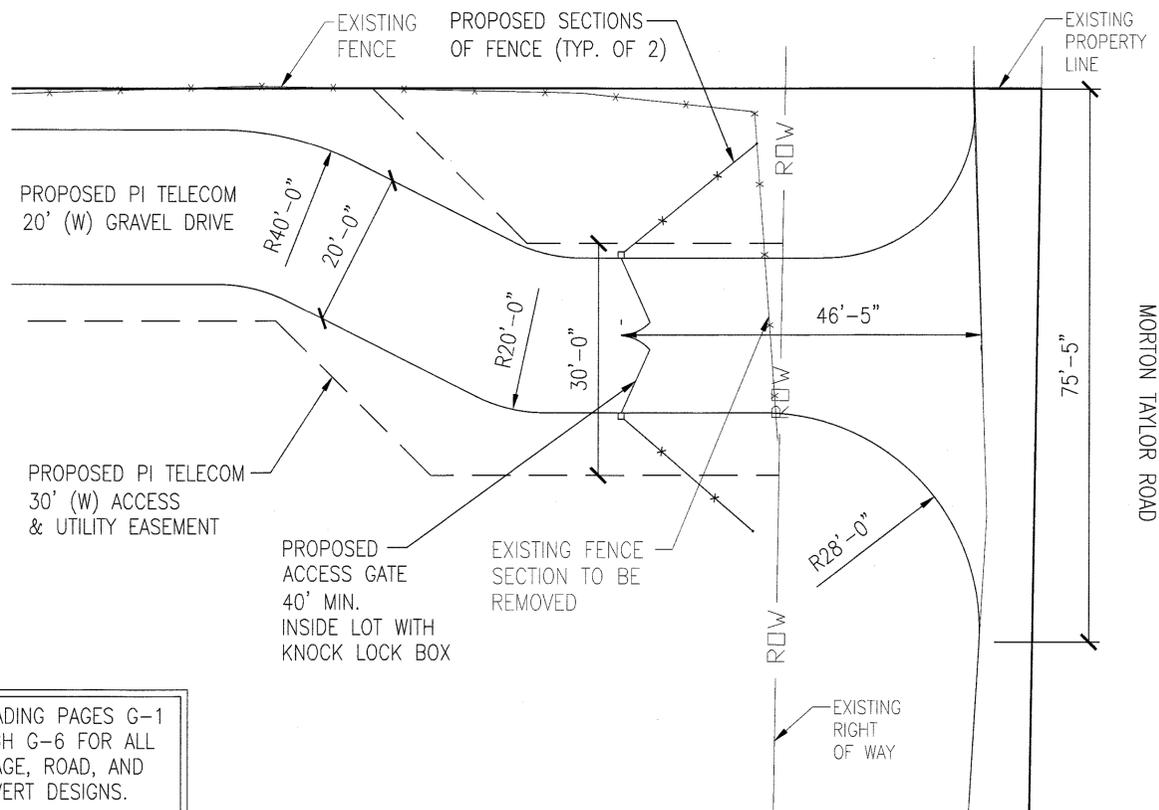
1 ACCESS DRIVE DETAIL

SCALE: N.T.S.

2 COMPOUND FINISH DETAIL

SCALE: N.T.S.

3 TENSAR GROUND STABILIZATION SPEC SHEET



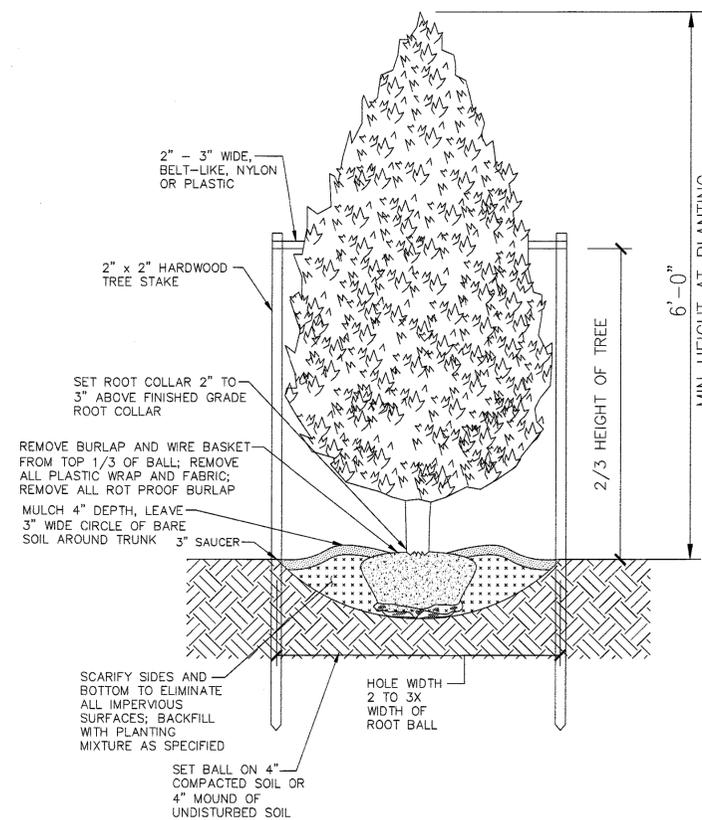
SEE GRADING PAGES G-1 THROUGH G-6 FOR ALL DRAINAGE, ROAD, AND CULVERT DESIGNS.

4 DRIVEWAY ENTRY

SCALE: N.T.S.

5 PLANTING DETAIL - EVERGREEN TREES

SCALE: N.T.S.



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INFRASTRUCTURE
PI TOWER DEVELOPMENT, LLC.
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JACKSONVILLE, FL 32256
PH: (904) 450-4830

verizon

TeleCAD
Wireless
1961 NORTHPOINT BLVD, SUITE 130
HIXSON, TN 37343
PH: 423-843-9500
FAX: 423-843-9509

A&E PROJECT #:	N/A
DRAWN BY:	SBW
CHECKED BY:	CTD

REVISIONS

NO.	DATE	DESCRIPTION
11/17/17		REVISED ZONING ISSUE
09/26/17		ZONING ISSUE
02/01/17		ZONING ISSUE
11/28/16		PRELIMINARY REVIEW



SITE NAME:
MI-VAN BUREN-CREEDON

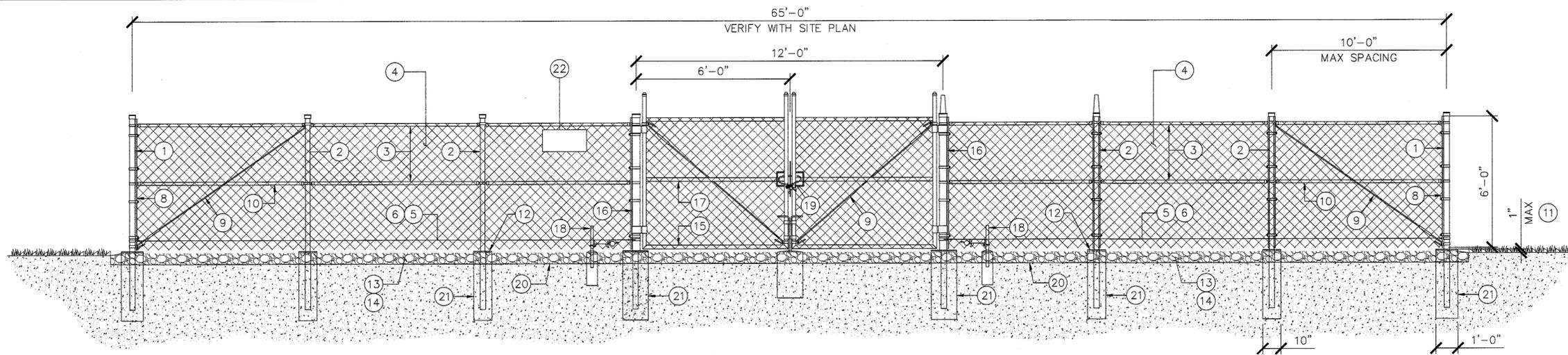
SITE NUMBER:
PIM052

SITE ADDRESS:
TBD MORTON TAYLOR ROAD
BELLEVILLE, MI 48111

DESIGN TYPE:
ZONING

SHEET TITLE:
SITE DETAILS

DRAWING NO. **Z3** REVISION: **D**



1 TYPICAL FENCING DETAIL

SCALE: N.T.S.

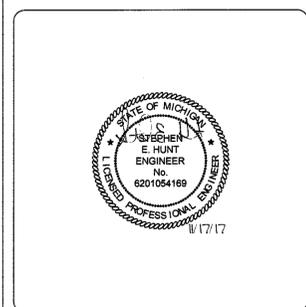
Parallel
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PI TOWER DEVELOPMENT, LLC.
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PH: 423-843-9500
FAX: 423-843-9509

A&E PROJECT #:	N/A
DRAWN BY:	SBW
CHECKED BY:	CTD

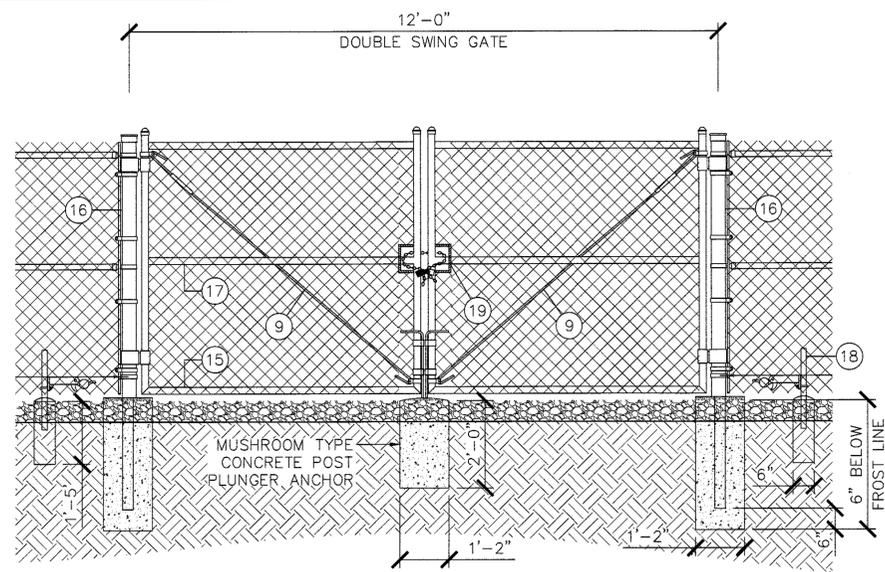
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NO.	DATE	DESCRIPTION
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09/26/17	09/26/17	ZONING ISSUE
02/01/17	02/01/17	ZONING ISSUE
11/28/16	11/28/16	PRELIMINARY REVIEW



SITE NAME:	MI-VAN BUREN-CREEDON
SITE NUMBER:	PIM1052
SITE ADDRESS:	TBD MORTON TAYLOR ROAD BELLEVILLE, MI 48111
DESIGN TYPE:	ZONING

SHEET TITLE:
FENCE DETAILS

DRAWING NO. **Z3A** REVISION: **D**



2 DOUBLE-SWING GATE DETAIL

SCALE: N.T.S.

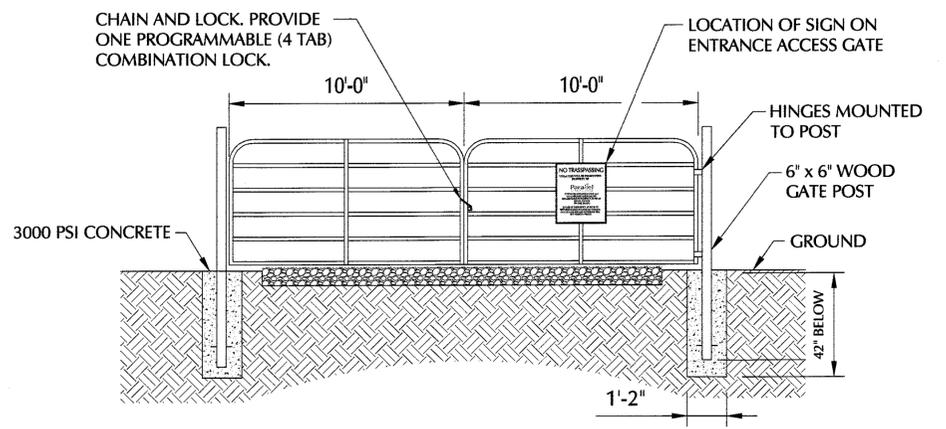
GENERAL NOTES:

1. INSTALL FENCING PER ASTM F-567
2. INSTALL SWING GATES PER ASTM F- 900
3. LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED IF REQUIRED.
4. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPE TO BE GALVANIZED (HOT DIP, ASTM A120 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDING SHALL BE COATED WITH (3) COATS OF COLD GALV. (OR EQUAL).
5. ALL OPEN POSTS SHALL HAVE END-CAPS.
6. USE GALVANIZED HOG-RING WIRE TO MOUNT ALL SIGNS.
7. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC.
8. MUSHROOM ANCHOR & PLUNGER REQUIRED FOR GATE.
9. G.C. RESPONSIBLE FOR PARALLEL INFRASTRUCTURE COMBO GATE LOCK

BALLOON REFERENCE NOTES:

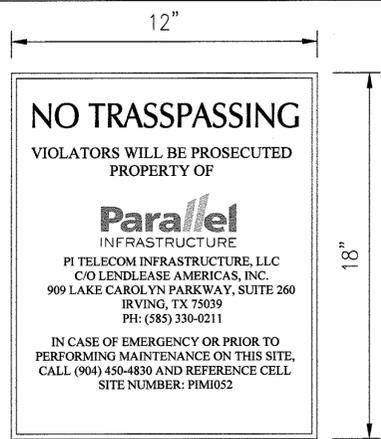
- 1 CORNER, END OR PULL POST: 3" O.D. SCHEDULE 40 PIPE.
- 2 LINE POST: 2 1/2" NOMINAL SCHEDULE 40 PIPE, PER ASTM-F1083. LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10'-0" O.C.
- 3 TOP RAIL & BRACE RAIL: 1-5/8" O.D. STANDARD ROUND PIPE, PER ASTM-F1083.
- 4 FABRIC: 9 GA CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392.
- 5 TIE WIRE: 9 GA ALUMINUM. A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED 12" O.C. POSTS/GATES AND 24" RAILS/WIRE.
- 6 TENSION WIRE: 9 GA ALUMINUM
- 7 DETAIL NOT USED.
- 8 3/16" X 3/4" (MIN) FULL HEIGHT STRETCHER BAR.
- 9 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD.
- 10 FENCE CORNER POST BRACE: 1 5/8" NOMINAL PIPE.
- 11 1" MAXIMUM CLEARANCE FROM FINISH GRADE.
- 12 FENCE POST FOUNDATION TO BE 1" FINISH ABOVE FINISHED GRADE
- 13 6" COMPACTED BASE MATERIAL
- 14 FINISH GRADE SHALL BE UNIFORM AND LEVEL.
- 15 WELDED GATE FRAME: 2" O.D., SCHEDULE 40 PIPE, PER ASTM-F1083.
- 16 GATE POST 4" O.D., SCHEDULE 40 PIPE, PER ASTM-F1083.
- 17 GATE FRAME BRACE RAIL: 1 1/2" NOMINAL PIPE, PER ASTM-F1083.
- 18 DUCK BILL OPEN GATE HOLDER. VERIFY LOCATION IN FIELD PRIOR TO INSTALLATION.
- 19 CONTRACTOR TO SUPPLY & INSTALL A 3/8" X 36" FORGED ZINC COATED CHAIN w/ A FOUR DIGIT COMBO MASTER LOCK w/ ELONGATED SHANK
- 20 GEOTEXTILE FABRIC
- 21 CONCRETE FOUNDATION (MIN 3000 PSI). MINIMUM DEPTH: 6" BELOW FROST LINE
- 22 12" X 18" PI TELECOM INFRASTRUCTURE, LLC WIRELESS SITE INFORMATION SIGN.
- 23 NO BARBED WIRE

4 GENERAL NOTES



3 GATE DETAIL AT ENTRANCE

SCALE: N.T.S.



5 SIGN DETAIL

SCALE: N.T.S.

6 FENCING NOTES



FEATURES & SPECIFICATIONS

INTENDED USE — The OLFL provides years of maintenance-free general illumination for residential or commercial outdoor applications such as yards, driveways, patios, loading areas and warehouses.

CONSTRUCTION — Dusk-to-dawn photocell automatically turns on at dusk and off at dawn for convenience and energy savings.

Rugged cast-aluminum, corrosion-resistant housing in bronze finish.

Tempered glass lens is fully gasketed to protect LEDs and keep out moisture, dirt and bugs.

120V driver operates at 60 Hz.

Rated for outdoor installations, -40°C minimum ambient.

OPTICS — High-performance LEDs produce 1400 lumens and maintain 70% of light output at 50,000 hours of service. (LED lifespan based on IESNA LM-80-08 results and calculated per IESNA TM-21-11 methodology.)

Precision optics and reflector for maximum light output.

See Lighting Facts Labels for specific fixture performance.

INSTALLATION — Mounts easily to existing junction box on wall or under eave.

Adjustable head allows precise illumination.

LISTINGS — UL Listed to US and Canadian safety standards for wet locations. ENERGY STAR® certified.

WARRANTY — 5-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomersResources/Terms_and_conditions.aspx

Actual performance may differ as a result of end-user environment and application.

Note: Specifications subject to change without notice.

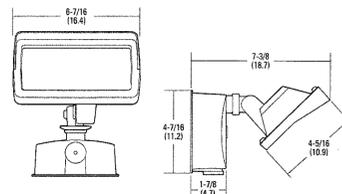
Catalog Number
Notes
Type



Outdoor General Purpose

OLFL

LED FLOODLIGHT



All dimensions are inches (centimeters) unless otherwise indicated.

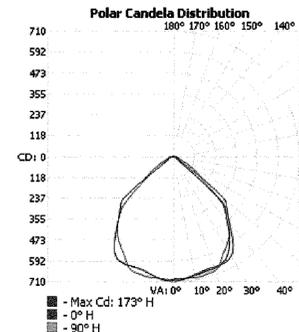
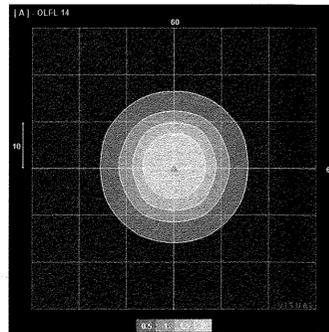
WORK LIGHTS WILL BE MOUNTED ON CANOPY POST. LIGHTS WILL BE DOWNWARD SHIELDED AND DIRECTED ON EQUIPMENT AND CONTROLLED BY A TECHNICIAN CONTROLLED 2HR. TIMER.

OLFL LED Floodlight

PHOTOMETRIC DIAGRAMS

To see complete photometric reports or download .ies files for this product, visit the OLFL home page on www.lithonia.com. Tested in accordance with IESNA LM-79 and LM-80 standards. Actual wattage may differ by +/- 8% when operating between 120V +/- 10%.

OLFL 14



LED lighting facts
A Report of the U.S. DOE

Light Output (Lumens) 1351
Watts 18
Lumens per Watt (Efficacy) 74

Color Accuracy
Color Rendering Index (CRI) 72

Light Color
Correlated Color Temperature (CCT) 3978 (Bright White)

2700K 3000K 4500K 6500K

Visit www.lightingfacts.com for the Label Reference Guide.

ORDERING INFORMATION All configurations of this product are considered "standard" and have short lead times. **Example: OLFL 14 PE BZ**

Series	Lumens / Color temperature (CCT) ¹	Voltage	Control	Finish
OLFL	14 1351 lumens / 4000K	(blank) 120V	PE Button photocell	BZ Bronze

Notes
1 Nominal Correlated Color Temperature (CCT) per ANSI C78.377-2008.



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INFRASTRUCTURE
PI TOWER DEVELOPMENT, LLC.
7411 FULLERTON STREET, SUITE 110
JACKSONVILLE, FL 32256
PH: (904) 450-4830



TeleCAD
Wireless
1961 NORTHPOINT BLVD, SUITE 130
HIXSON, TN 37343
PH: 423-843-9500
FAX: 423-843-9509

A&E PROJECT #:	N/A
DRAWN BY:	SBW
CHECKED BY:	CTD

REVISIONS		
NO.	DATE	DESCRIPTION
1	11/17/17	REVISED ZONING ISSUE
2	09/26/17	ZONING ISSUE
3	02/01/17	ZONING ISSUE
4	11/28/16	PRELIMINARY REVIEW

FOR REFERENCE

SITE NAME:
MI-VAN BUREN-CREEDON

SITE NUMBER:
PIMI052

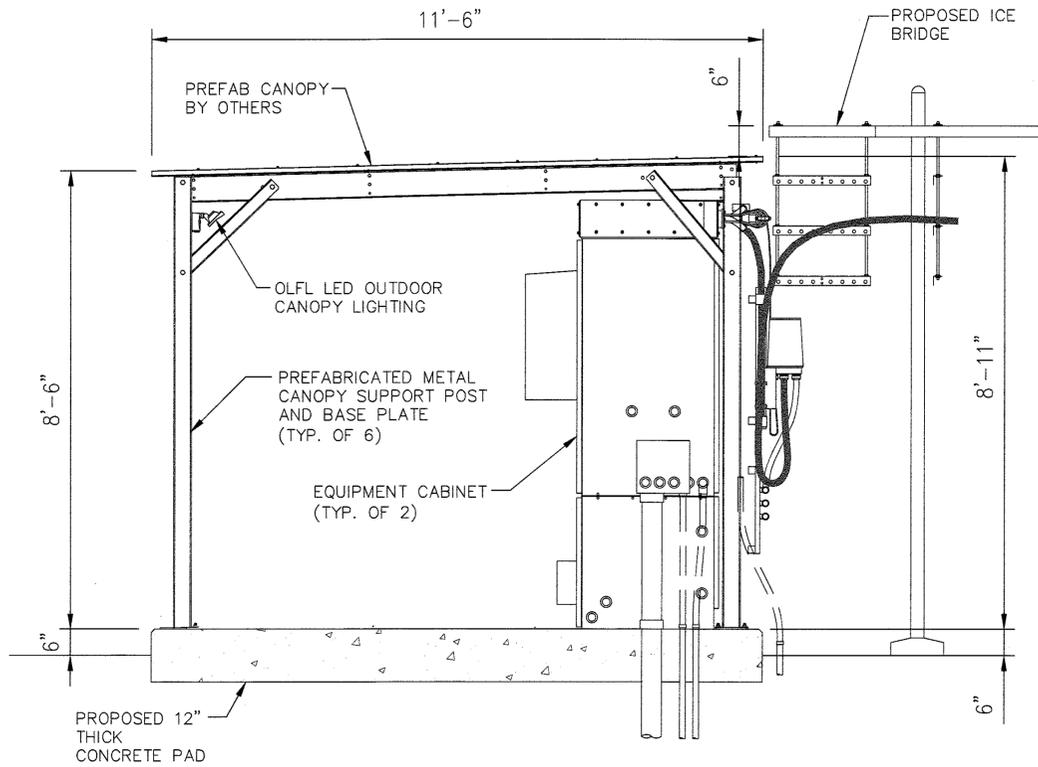
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TBD MORTON TAYLOR ROAD
BELLEVILLE, MI 48111

DESIGN TYPE:
ZONING

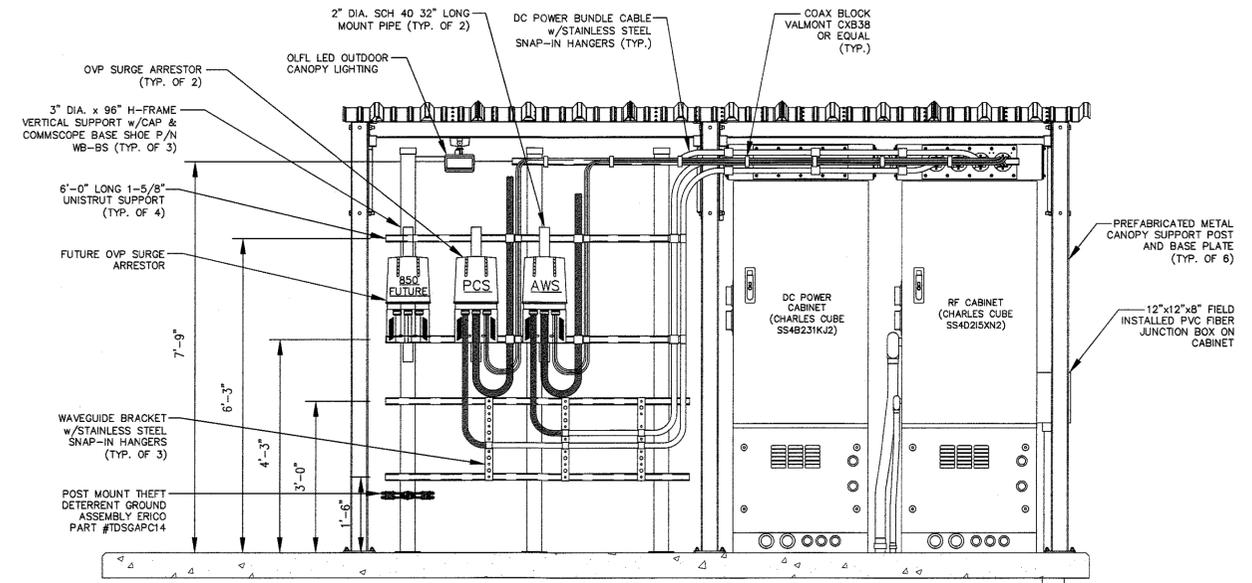
SHEET TITLE:
SITE DETAIL

DRAWING NO. Z4	REVISION: D
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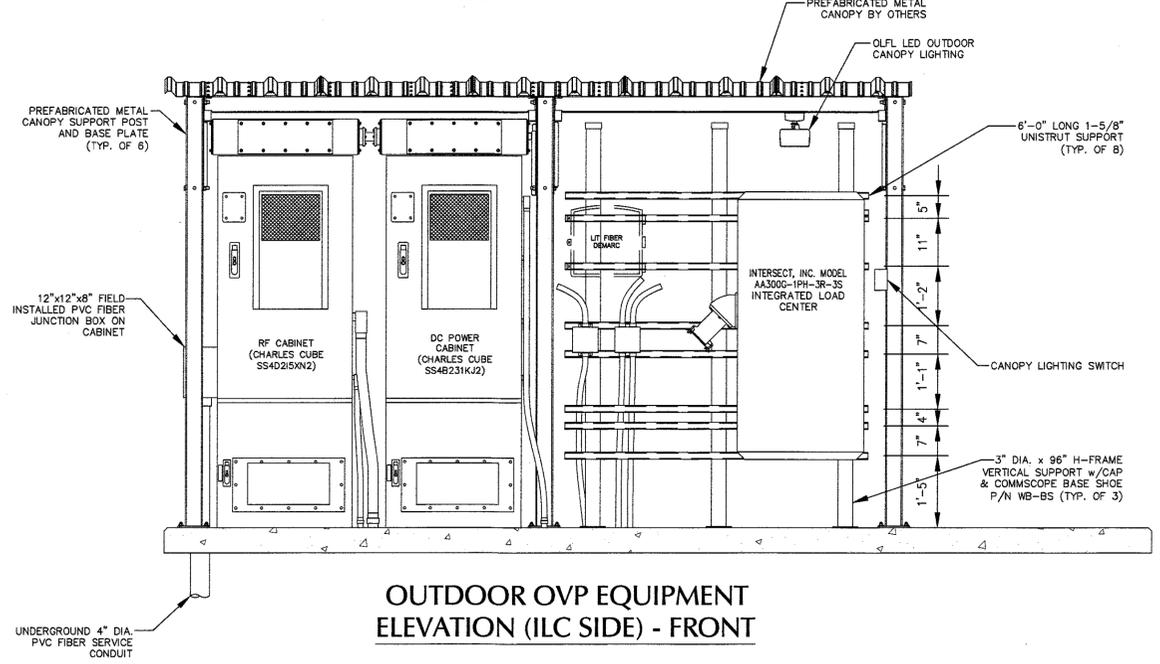
WORK LIGHTS WILL BE MOUNTED ON CANOPY POST. LIGHTS WILL BE DOWNWARD SHIELDED AND DIRECTED ON EQUIPMENT AND CONTROLLED BY A TECHNICIAN CONTROLLED 2HR TIMER.



OUTDOOR OVP EQUIPMENT ELEVATION - SIDE



OUTDOOR OVP EQUIPMENT ELEVATION (OVP SIDE) - REAR



OUTDOOR OVP EQUIPMENT ELEVATION (ILC SIDE) - FRONT

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INFRASTRUCTURE
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JACKSONVILLE, FL 32256
PH: (904) 450-4830

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A&E PROJECT #:	N/A
DRAWN BY:	SBW
CHECKED BY:	CTD

REVISIONS		
NO.	DATE	DESCRIPTION
1	11/17/17	REVISED ZONING ISSUE
2	09/26/17	ZONING ISSUE
3	02/01/17	ZONING ISSUE
4	11/28/16	PRELIMINARY REVIEW



SITE NAME:
MI-VAN BUREN-CREEDON

SITE NUMBER:
PIM052

SITE ADDRESS:
**TBD MORTON TAYLOR ROAD
BELLEVILLE, MI 48111**

DESIGN TYPE:
ZONING

SHEET TITLE:
SITE DETAILS

DRAWING NO. Z5	REVISION: D
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 JACKSONVILLE, FL 32256
 PH: (904) 450-4830

verizon^v

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A&E PROJECT #:	N/A
DRAWN BY:	SBW
CHECKED BY:	CTD

REVISIONS		
NO.	DATE	DESCRIPTION
△	11/17/17	REVISED ZONING ISSUE
△	09/26/17	ZONING ISSUE
△	02/01/17	ZONING ISSUE
△	11/28/16	PRELIMINARY REVIEW

FOR REFERENCE

SITE NAME:
 MI-VAN BUREN-CREEDON

SITE NUMBER:
 PIM1052

SITE ADDRESS:
 TBD MORTON TAYLOR ROAD
 BELLEVILLE, MI 48111

DESIGN TYPE:
 ZONING

SHEET TITLE:
 AREA MAP

DRAWING NO. Z6	REVISION: D
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WETLANDS NOT REGULATED PURSUANT
TO NEPA REVIEW BY G2 CONSULTING
GROUP DATED JUNE 19,2017
TCNS NUMBER 148022
E106 FILLING NUMBER 0007623785

EXISTING LOW AREA

EXISTING POND

TOWER LOCATION

FUEBx

EXISTING DRAINAGE AREA

EXISTING PONDS

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PH: (904) 450-4830

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PH: 423-843-9500
FAX: 423-843-9509

A&E PROJECT #:	N/A
DRAWN BY:	SBW
CHECKED BY:	CTD

REVISIONS		
NO.	DATE	DESCRIPTION
1	11/17/17	REVISED ZONING ISSUE
2	09/26/17	ZONING ISSUE
3	02/01/17	ZONING ISSUE
4	11/28/16	PRELIMINARY REVIEW

FOR REFERENCE

SITE NAME:
MI-VAN BUREN-CREEDON

SITE NUMBER:
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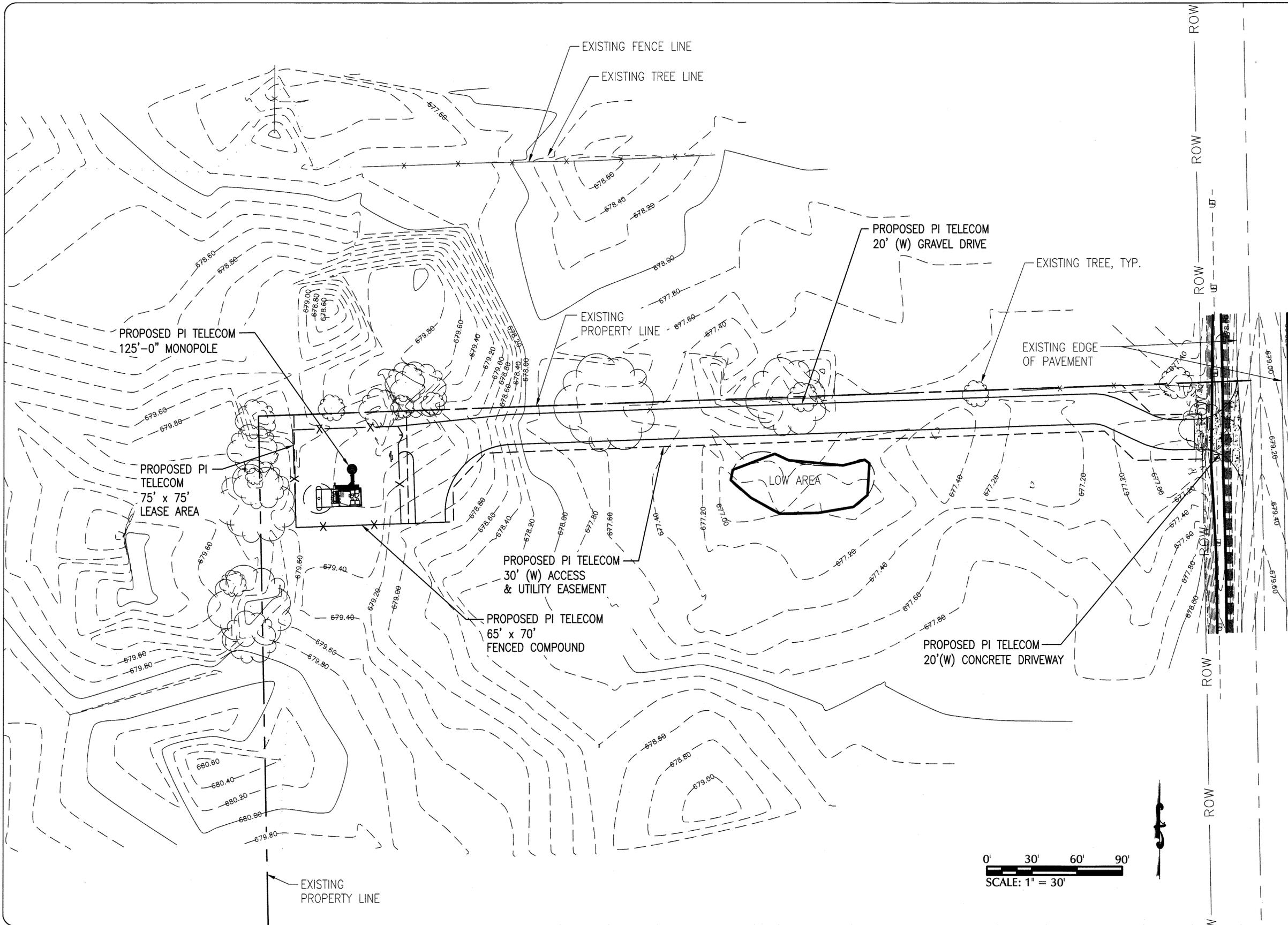
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TBD MORTON TAYLOR ROAD
BELLEVILLE, MI 48111

DESIGN TYPE:
ZONING

SHEET TITLE:
WETLAND MAP

DRAWING NO. Z7	REVISION: C
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 C/O LEANDLEASE AMERICAS, INC.
 909 LAKE CAROLYN PARKWAY, SUITE 260
 IRVING, TX 75039



TeleCAD
Wireless
 1961 NORTHPOINT BLVD, SUITE 130
 HIXSON, TN 37343
 PH: 423-843-9500
 FAX: 423-843-9509

A&E PROJECT #:	N/A
DRAWN BY:	SBW
CHECKED BY:	CTD

REVISIONS		
NO.	DATE	DESCRIPTION
11/17/17	11/17/17	REVISED ZONING ISSUE
09/26/17	09/26/17	ZONING ISSUE
02/01/17	02/01/17	ZONING ISSUE
12/06/16	12/06/16	PRELIMINARY REVIEW



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 MI-VAN BUREN-CREEDON

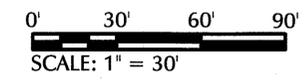
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 BELLEVILLE, MI 48111

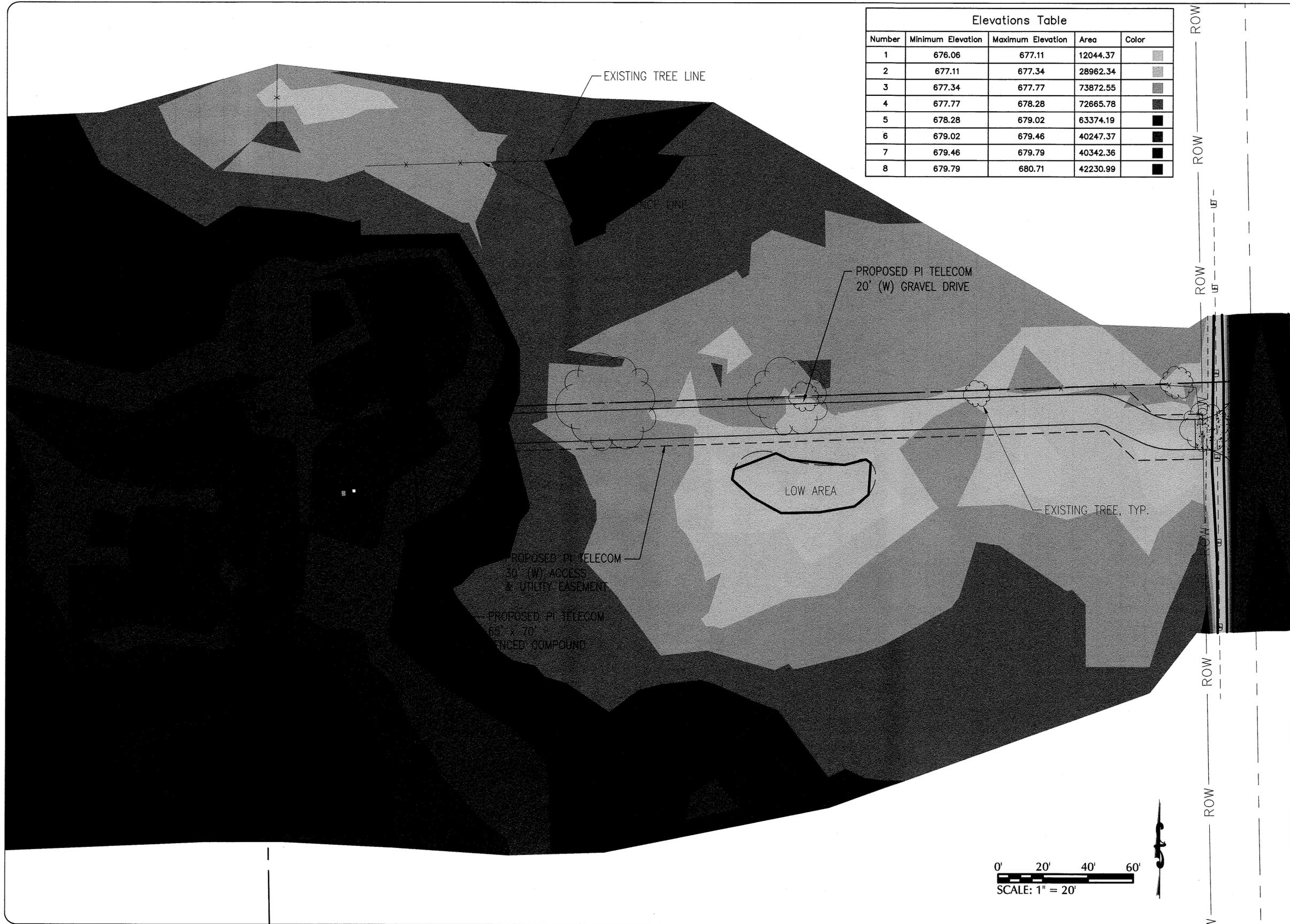
DESIGN TYPE:
 ZONING

SHEET TITLE:
 EXISTING SITE LAYOUT

DRAWING NO. G1	REVISION: D
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Elevations Table				
Number	Minimum Elevation	Maximum Elevation	Area	Color
1	676.06	677.11	12044.37	■
2	677.11	677.34	28962.34	■
3	677.34	677.77	73872.55	■
4	677.77	678.28	72665.78	■
5	678.28	679.02	63374.19	■
6	679.02	679.46	40247.37	■
7	679.46	679.79	40342.36	■
8	679.79	680.71	42230.99	■



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 C/O LEANDLEASE AMERICAS, INC.
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 IRVING, TX 75039

verizon

TeleCAD
 Wireless
 1961 NORTHPOINT BLVD, SUITE 130
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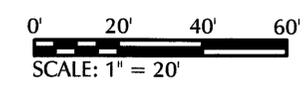
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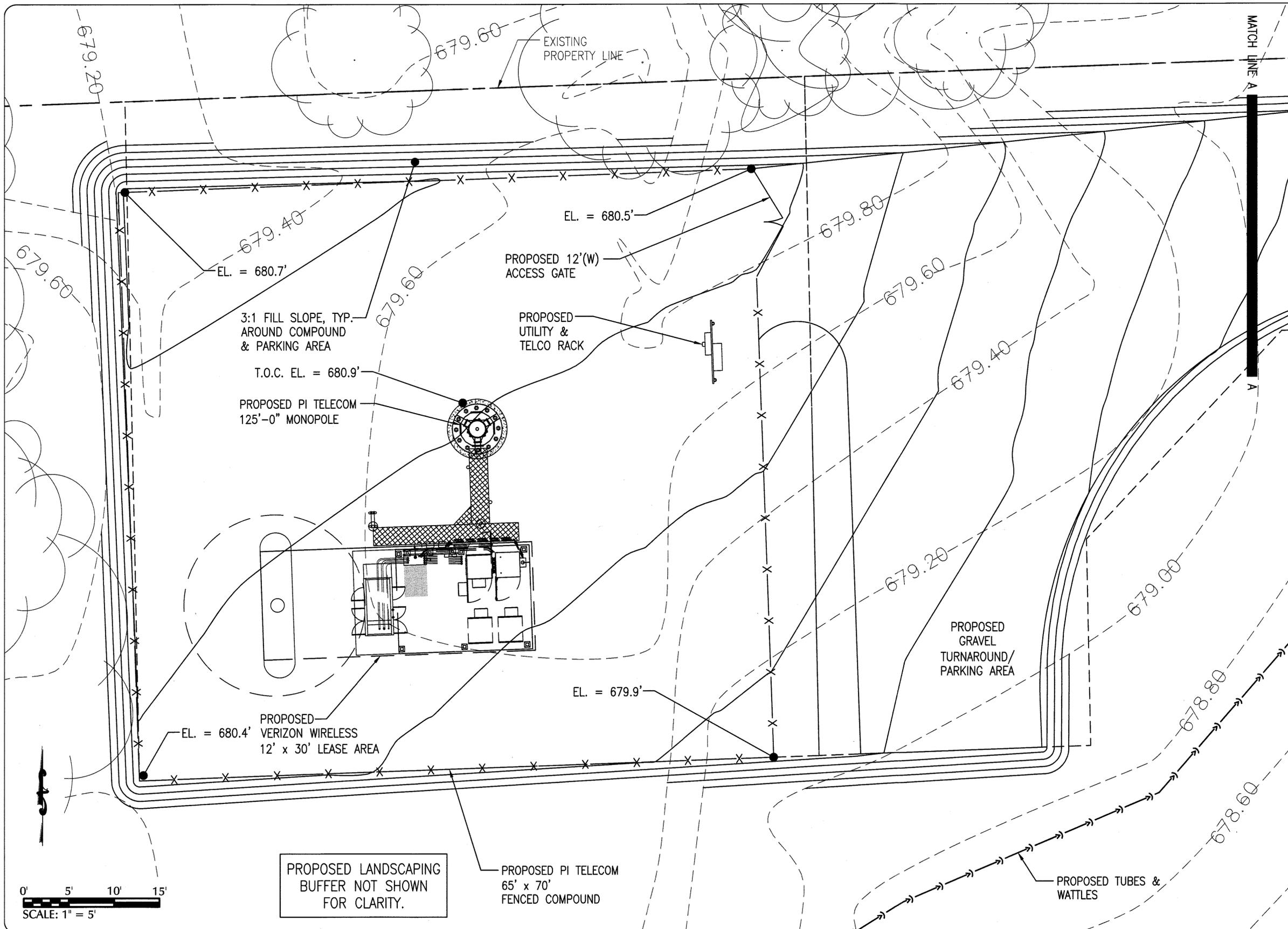
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NO.	DATE	DESCRIPTION
1	11/17/17	REVISED ZONING ISSUE
2	09/26/17	ZONING ISSUE
3	02/01/17	ZONING ISSUE
4	12/06/16	PRELIMINARY REVIEW

SITE NAME:	MI-VAN BUREN-CREEDON
SITE NUMBER:	PIMI052
SITE ADDRESS:	TBD MORTON TAYLOR ROAD BELLEVILLE, MI 48111
DESIGN TYPE:	ZONING

SHEET TITLE:
EXISTING WATERSHED ANALYSIS

DRAWING NO.	REVISION:
G2	D





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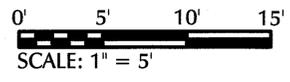
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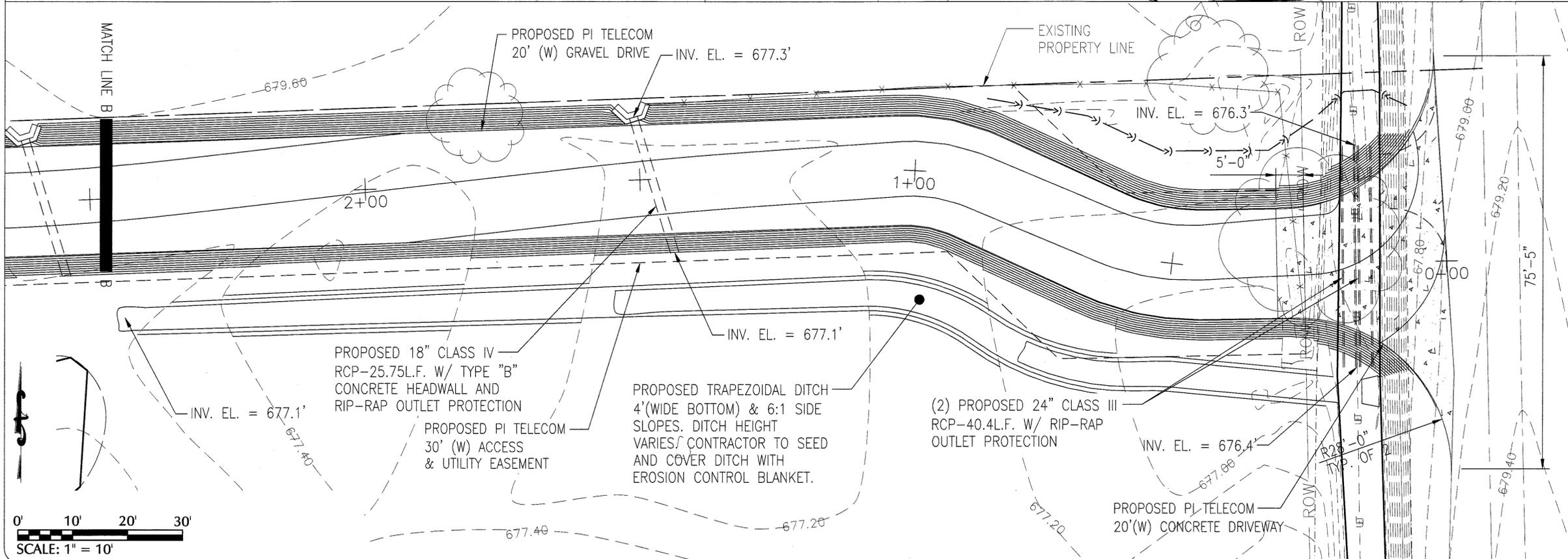
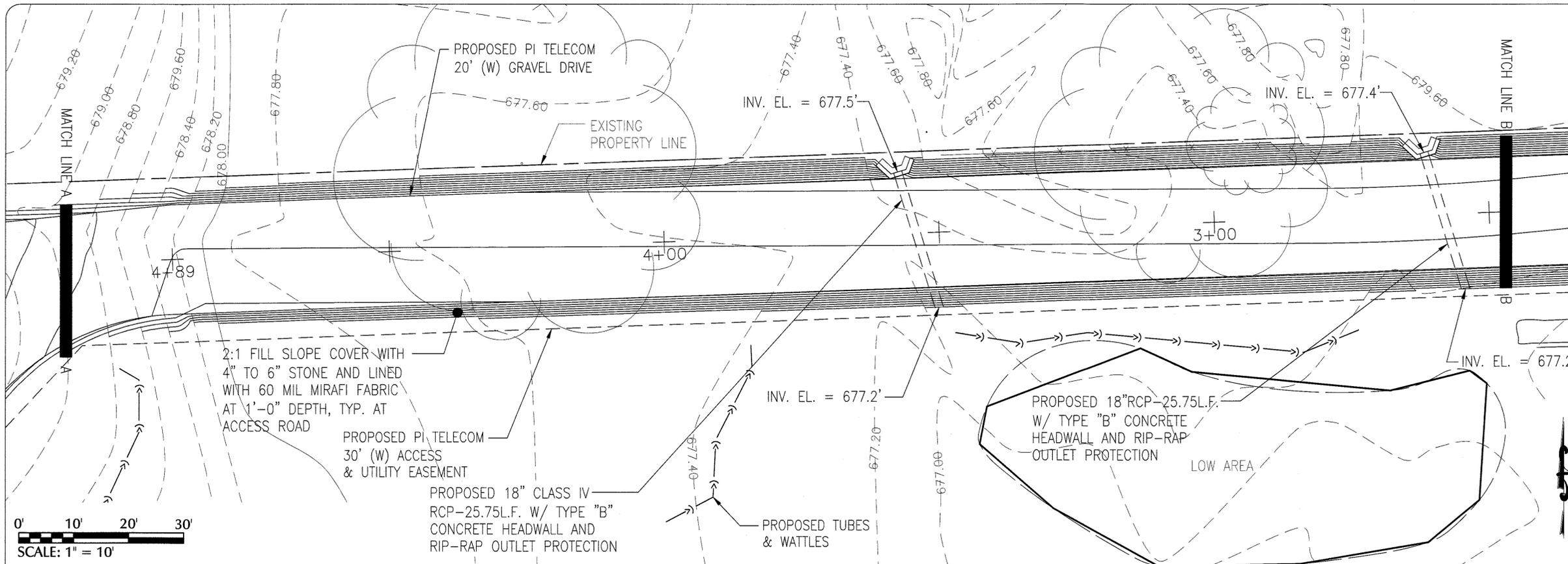
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DRAWN BY:	SBW
CHECKED BY:	CTD

REVISIONS		
NO.	DATE	DESCRIPTION
1	11/17/17	REVISED ZONING ISSUE
2	09/28/17	ZONING ISSUE
3	02/01/17	ZONING ISSUE
4	12/06/16	PRELIMINARY REVIEW

SITE NAME:	MI-VAN BUREN-CREEDON
SITE NUMBER:	PIMI052
SITE ADDRESS:	TBD MORTON TAYLOR ROAD BELLEVILLE, MI 48111
DESIGN TYPE:	ZONING

SHEET TITLE:	
SITE GRADING PLAN	
DRAWING NO.	REVISION:
G3	D





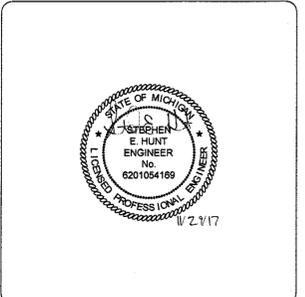
Parallel
INFRASTRUCTURE
 PI TOWER DEVELOPMENT, LLC.
 7411 FULLERTON STREET, SUITE 110
 JACKSONVILLE, FL 32256
 PH: (904) 450-4830

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A&E PROJECT #:	N/A
DRAWN BY:	SBW
CHECKED BY:	CTD

REVISIONS		
NO.	DATE	DESCRIPTION
△	11/29/17	REVISED ZONING ISSUE
△	11/17/17	REVISED ZONING ISSUE
△	09/26/17	ZONING ISSUE
△	02/01/17	ZONING ISSUE
△	11/28/16	PRELIMINARY REVIEW



SITE NAME:
MI-VAN BUREN-CREEDON

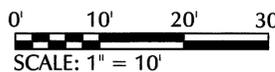
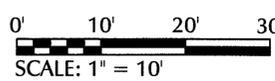
SITE NUMBER:
PIMI052

SITE ADDRESS:
**TBD MORTON TAYLOR ROAD
 BELLEVILLE, MI 48111**

DESIGN TYPE:
ZONING

SHEET TITLE:
**ACCESS ROAD GRADING
 PLAN**

DRAWING NO. G4	REVISION: E
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A&E PROJECT #:	N/A
DRAWN BY:	SBW
CHECKED BY:	CTD

REVISIONS		
NO.	DATE	DESCRIPTION
△	11/29/17	REVISED ZONING ISSUE
△	11/17/17	REVISED ZONING ISSUE
△	09/26/17	ZONING ISSUE
△	02/01/17	ZONING ISSUE
△	11/28/16	PRELIMINARY REVIEW

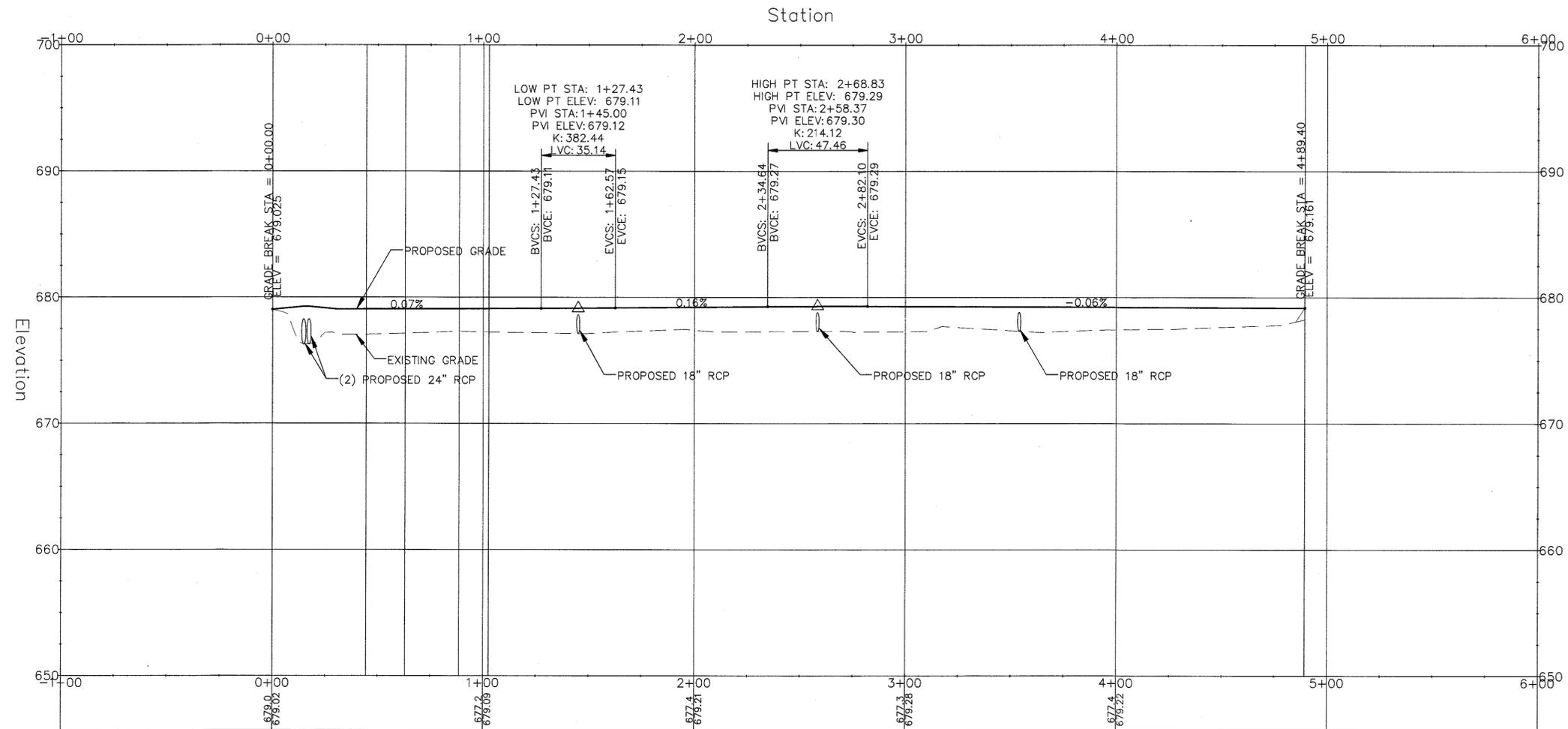


SITE NAME:	MI-VAN BUREN-CREEDON
SITE NUMBER:	PIMI052
SITE ADDRESS:	TBD MORTON TAYLOR ROAD BELLEVILLE, MI 48111
DESIGN TYPE:	ZONING

SHEET TITLE:
ACCESS ROAD PROFILE

DRAWING NO.	REVISION:
G5	E

Alignment - (Access Road) PROFILE



Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Compound + Parking vs EG	1.000	1.000	9080.27 Sq. Ft.	0.00 Cu. Yd.	225.40 Cu. Yd.	225.40 Cu. Yd.<Fill>
Road vs EG	1.000	1.000	13899.62 Sq. Ft.	0.14 Cu. Yd.	1007.80 Cu. Yd.	794.72 Cu. Yd.<Fill>
Drainage Ditch vs EG	1.000	1.000	1771.50 Sq. Ft.	23.15 Cu. Yd.	0.00 Cu. Yd.	23.15 Cu. Yd.<Cut>
Total Rock Displacement						715.52 Cu. Yd.<Cut>
Totals			24751.40 Sq. Ft.	23.28 Cu. Yd.	1020.25 Cu. Yd.	± 281.44 Cu. Yd.<Fill>

Y-SCALE: 1"=5'

X-SCALE: 1"=30'

TOTAL LIMITS OF GRADING = ±0.568 ACRES

A&E PROJECT #:	N/A
DRAWN BY:	SBW
CHECKED BY:	CTD

REVISIONS

NO.	DATE	DESCRIPTION
△	11/29/17	REVISED ZONING ISSUE
△	11/17/17	REVISED ZONING ISSUE
△	09/26/17	ZONING ISSUE
△	02/01/17	ZONING ISSUE
△	11/28/16	PRELIMINARY REVIEW



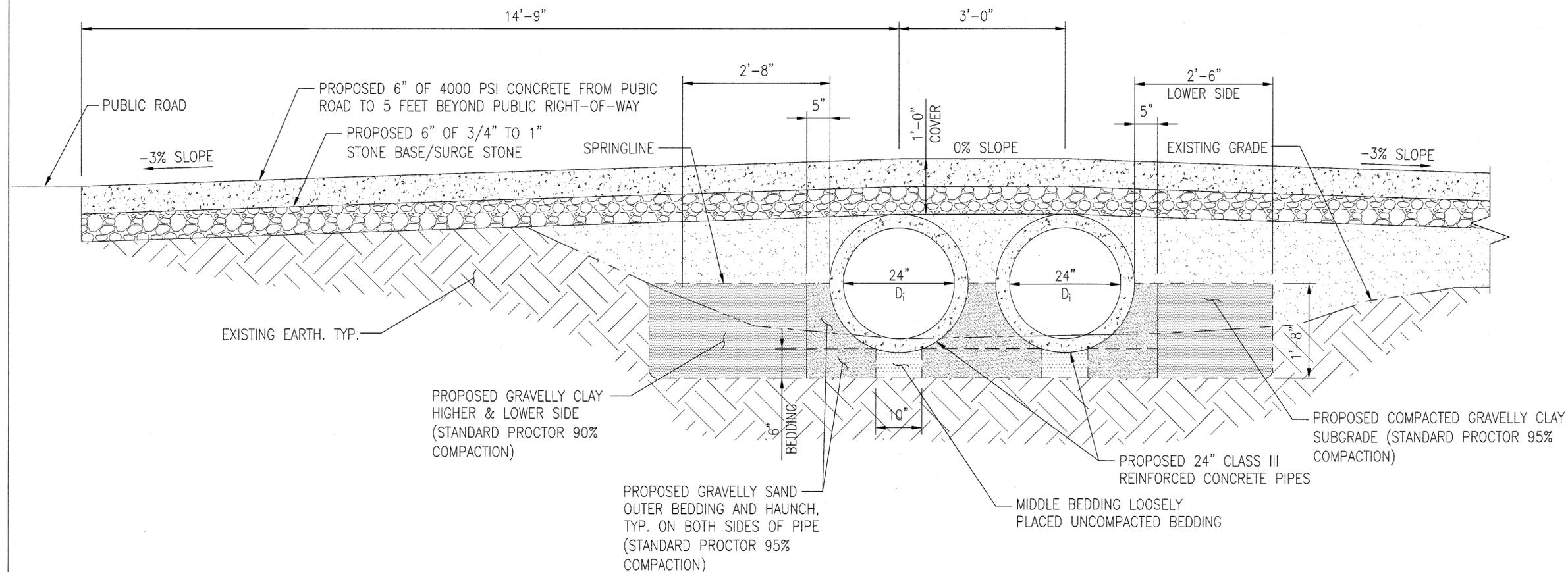
SITE NAME:	MI-VAN BUREN-CREEDON
SITE NUMBER:	PIMI052
SITE ADDRESS:	TBD MORTON TAYLOR ROAD BELLEVILLE, MI 48111
DESIGN TYPE:	ZONING

SHEET TITLE:	SITE DETAILS
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DRAWING NO.	REVISION:
G6	E

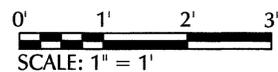
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COMPACTION NOTE:

ALL AREAS TO RECEIVE FILL SHALL FIRST BE PROOF ROLLED UNDER THE SUPERVISION OF THE ENGINEER OR TESTING LAB PERSONNEL. ANY AREAS WHICH EXHIBIT "PUMPING" SHALL BE UNDERCUT (OR OTHERWISE STABILIZED) TO A FIRM SOIL BEFORE PLACING FILL. ALSO, ALL FINAL SUBBGRADES, WHETHER IN CUT OR FILL, SHALL BE PROOF ROLLED PRIOR TO CONSTRUCTING SLABS OR PAVEMENTS. CONTACT ENGINEER FOR DIRECTION IN SITUATIONS WHERE SOIL COMPACTION OR BEARING CAPACITY MAY BE INADEQUATE.



CULVERT SECTION AT DRIVEWAY CONNECTION



Memo

TO: Planning Commission
FROM: Ron Akers, AICP
Director of Planning and Economic Development
RE: Accessory Structure Zoning Ordinance Modifications
DATE: December 22, 2017

Over the last several months there have been a few issues raised regarding the accessory structure standards of our Zoning Ordinance. There have been a few examples which I can touch on further at the meeting. Based on some of these situations I have drafted some proposed changes to this section of the Zoning Ordinance. These changes are as follows:

- A. **Minimum Setbacks:** Our Zoning Ordinance does not currently differentiate between the minimum required setbacks for accessory buildings for residential/agricultural use and commercial/industrial uses. Commercial/industrial uses have a tendency to be larger in size and have more activity than a traditional residential or agricultural use. This proposed change in section 1 allows for the more flexible five (5) foot setback in residential/agricultural situations and requires that detached accessory buildings in non-residential districts meet the same setbacks as principal buildings.

The other change is with regards to the removal of the requirement for larger accessory buildings to be setback from the principal building a distance equal to the longest length of the accessory building. This provision has created a few issues in commercial and industrial situations where the required setback was so significant (100+ feet on one particular occasion) that a project was unable to move forward without a variance. Additionally, I can find no reason for this provision aside from aesthetics. I am proposing that the setback for the larger buildings (larger than 768 sf) simply be the existing minimum which is 24 feet. This allows for vehicular access and sufficient space on all sides of the building in the event of a fire.

- B. **Approval Process for Accessory Buildings Which Exceed the Lot Coverage Requirements in Non-Residential Districts.** This section was added when we updated our Zoning Ordinance and was mainly to address some of the situations over the past few years which have required variances (i.e. Menards & Costco). The strategy we used was to require these accessory buildings which exceeded the lot coverage size to obtain a special use permit from the Township Board. Special use permits are generally used for uses and building which have the ability to fit within a particular zoning district, but are given special consideration due to their potential for negative impacts on adjacent properties. It is due to this that the Zoning Enabling Act gives us the ability to place reasonable conditions on special uses outside of the Zoning Ordinance and we can require special uses to meet a higher approval standard. The change I

am proposing will change the approval process for these accessory buildings which exceeds the lot coverage requirements. If the building is accessory to a use/building that is a permitted use, then the approval process will be the same as a permitted use (site plan review), but if the building is accessory to use/building that is a special use, then the accessory building will require special use approval. The reason for the change is that under the current rule there are situations where we can require special use approval for the accessory building when the main building which is larger and more significant only requires site plan review. For industrial and commercial developments this can create a standard in which the higher standard of approval may be inappropriate for the improvement.

- C. **Concrete Floor and Rat Wall In Agricultural Districts.** The requirement of have a concrete floor and rat wall for detached accessory buildings is necessary to prevent the spread of rodents in higher density areas. It is less common to see these type of issues in agricultural areas. In addition, it is far more common for a detached shed or pole building either be placed on skids or have a dirt floor in these less dense areas. This is an issue we deal with regularly at the counter and due to this we are recommending this change.

- D. **Detached Shed Exemptions.** Under these changes we are proposing to create an exemption to the lot coverage requirements of the district to allow a detached accessory building up to 120 square feet (10' x 12') to be permitted in addition to the permitted lot coverage. The reason for this changes is simply that we get regular requests to place sheds on properties which have already exceeded their lot coverage under our rules. We made an effort to address this in the update to our Zoning Ordinance by adding a provision for lots smaller than 18,000 square feet to have a two car garage and a shed. One of the challenges we faced in implementation was that the accessory building lot coverage of lots slightly larger than 18,000 square feet (which was not able to take advantage of the standard) created an unequal situation. This is intended to provide a solution which is equitable.

The other standard that was added was a clarification regarding whether or not we require a building permit for sheds below a certain size. Currently, the long standing practice of the building department was to not require a permit for detached accessory buildings under the minimum size allowed by the building code (200 square feet). This has created confusion over the years as it is not consistent with the Township's Zoning Ordinance. This text amendment proposes that we do not require a building permit for detached accessory buildings 120 square feet or less and clarifies that even though we do not require a building permit, the shed will still be required to meet all of the applicable standards of the Zoning Ordinance.

Please feel free to contact me if there are any questions and I look forward to further discussion regarding these items.

Chapter 1 Accessory Structures and Uses

Accessory structures and uses shall comply with the following regulations:

Section 1.101 General Requirements

All accessory structures, buildings and uses shall be subject to the following regulations except as otherwise permitted in this Ordinance:

- (A) **Timing of Construction.** No accessory structure, building, or use shall be constructed or established on a parcel unless there is a principal building, structure or use being legally constructed or already established on the same zoning lot.
- (B) **Site Plan Approval.** If site plan approval is required for the principal use, then site plan approval shall also be required for accessory structures, buildings, and uses. The site plan shall indicate the location of all proposed accessory structures and uses, the existing grade and proposed finished grade, and all other information necessary to review the plan for conformance to the regulations of this Section.
- (C) **Nuisances.** Accessory buildings, structures and uses such as household animal enclosures, dog runs, central air conditioning units, heat pumps, and other mechanical equipment that could produce noise, odors, or other nuisances shall not be located adjacent to an adjoining property owner's living or sleeping area or public area where windows and/or doors would be exposed to the nuisance.
- (D) **Act 347.** When applicable, all accessory buildings shall be constructed entirely in accordance with the Soil Erosion and Sedimentation Control Act, Act 347 of the Public Acts of 1972, as amended.
- (E) **Sanitary Code.** When applicable, all accessory buildings shall be built in accordance with the County sanitary code and be located so as not to infringe on an existing septic tank filter field or preclude the adequate area which may be required for a replacement septic tank filter field in the future.
- (F) **Located on the Same Lot as the Principal Building.** Accessory buildings and structures must be located on the same lot as a principal building and occupied by or devoted exclusively to an accessory use, including, but not limited to, a private garage. Agricultural buildings located on a farm are exempt from this requirement.

Section 1.102 Accessory Structures and Buildings – All Districts

Unless otherwise specifically provided in this Ordinance, the following regulations shall apply to accessory structures or buildings in all zoning districts:

- (A) **Dimensional Regulations.** Unless explicitly permitted elsewhere in this Ordinance, accessory buildings and structures shall meet the following requirements:

Table 13: Dimensional Regulations of Accessory Buildings and Structures

	Attached Accessory Buildings	Detached Accessory Buildings	Detached Accessory Structures (Non-Building)
Location	Same as principal building.	Permitted in side or rear yard only, unless explicitly permitted elsewhere in this Ordinance.	Permitted in side or rear yard only, unless explicitly permitted elsewhere in this Ordinance.
Minimum Setbacks	Same as principal building.	<p><u>1. Zoning District Regulations:</u></p> <p><u>i. In the AG, R-1A, R-2A, R-1B, R-1C, RMH and RM districts and for residential uses in non-residential districts:</u> 5 ft. setback from side or rear lot line. On double frontage or corner lots, detached accessory buildings shall comply with front yard setbacks on all street frontages.</p> <p><u>ii. In all other districts, except as otherwise specified: A detached accessory building shall meet the same setbacks required for principal buildings in the district.</u></p> <p>2. Detached accessory buildings (≤768 sq. ft. floor area): 10 ft. from the principal structure.</p> <p>3. Detached accessory buildings (>768 sq. ft. floor area): 24 ft. from the principal structure, <u>or a distance equal to the longest length of the accessory building, whichever is greater.</u></p>	
Maximum Height	Maximum height permitted for a principal building, or height of the principal building, whichever is less.	<p>1. R-1A, R-2A, R-1B, R-1C, RM, Districts: See Footnote <u>(1)(4)</u> below. The maximum height may be increased by 2 feet on lots 1 acre in area or larger.</p> <p>2. AG District: 20 ft. The maximum height may be increased by 2 feet on lots 1 acre in area or larger.</p> <p>3. All other districts: Maximum height permitted by <u>Error! Reference source not found.Article 4.</u></p>	<p>1. R-1A, R-2A, R-1B, R-1C, RM Districts: 14 ft.</p> <p>2. AG District: 20 ft.</p> <p>3. All other districts: Max. height permitted by <u>Error! Reference source not found.Article 4.</u></p>
Maximum Lot Coverage	Same as principal building.	<p>1. Shall be included in computations to determine compliance with maximum permitted lot coverage for the zoning district.</p> <p>2. The maximum lot coverage of all detached accessory buildings on any lot shall be the lesser of the following: <u>[see shed exceptions in section 7.202(D)(3)]</u></p> <p>a. 4,800 sq. ft.; or</p> <p>b. the maximum area permitted by the lot coverage standards in <u>Error! Reference source not found.Article 4;</u> or</p> <p>c. the area of the parcel (in acres) multiplied by 1,280, subject to <u>Section 1.102(D)(2)Section 7.202(D)(2).</u></p> <p>3. For agricultural buildings located on a farm of at least 10 acres in the AG district, the lot coverage of all agricultural buildings may exceed the lot coverage limits above, provided the lot complies with the lot coverage standards of the zoning district.</p> <p>4. For non-residential uses in a non-residential zoning district, the Planning Commission may permit the lot coverage of all detached accessory buildings to</p>	If 30 inches or higher above grade, shall be included in computations to determine compliance with maximum permitted lot coverage for the zoning district.

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	<p>exceed the lot coverage limits above via special land use approval, provided the lot complies with the lot coverage standards of the zoning district, and the application meets the special land use requirements of Section 12.306. The approval process for a detached accessory building that exceeds the lot coverage limits shall be the same as the approval process for the principal use to which the detached building is accessory.</p> <p><u>Example:</u> Detached accessory buildings on a 1.5 acre lot would be permitted to cover no more than (1.5 x 1,280) = 1,920 sq. ft., subject to the maximum permitted lot coverage for the zoning district.</p>	
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Table 3 Footnotes:

- (1) Except as otherwise permitted in this Ordinance, the maximum permitted height of detached accessory buildings in single-family and multiple-family residential districts shall be as listed in the following table:

Roof Pitch	Maximum Height
4/12 – 6/12	14 feet
6.01/12 – 8/12	16 feet
>8/12	17 feet

- (2) All detached accessory buildings shall have a roof with a minimum pitch of 4/12. Flat roofs and roofs with a pitch less than 4/12 are prohibited; however, a shallower roof pitch may be permitted to exactly match the roof pitch of the principal structure.

(B) Appearance and Materials. Accessory structures and buildings shall meet the following standards:

- (1) **Appearance.** Accessory structures and buildings shall be designed and constructed to be compatible with the design and construction of the principal building on the site. Compatibility includes similarity of architectural features including, but not limited to, roof pitch, windows, facades, and building material appearance. Accessory buildings attached to a single family dwelling shall also comply with the Single Family Residential Architectural Design Standards included in ~~Error! Reference source not found.~~ Section 5.115 of this Zoning Ordinance.

- (2) **Concrete Floor and Rat Wall.** Any accessory building located on a single family residential zoned lot with a lot area less than 2.5 acres, ~~or on an agricultural zoned lot with a lot area less than 2.5 acres and~~ with a residential principal use, shall have a concrete floor or pad and a rat wall.

(C) Specific Requirements for Attached Accessory Structures and Buildings. Accessory structures and buildings which are attached to the principal building or structure via a completely enclosed area with a finished floor or via shared wall construction (an unenclosed breezeway is not a sufficient attachment) shall be considered part of the principal building or structure, and shall meet all requirements of this Ordinance for the principal building or structure, except to the extent the requirements are inconsistent with ~~Section 1.102(A)~~ Section 7.202(A).

(D) **Specific Requirements for Detached Accessory Buildings.** Detached accessory buildings shall comply with the following:

- (1) **Scenic Lots.** On a scenic lot, a detached accessory building may be erected on the street frontage of the lot except that the required setback from the street frontage shall be a minimum of 35 feet.
- (2) **Detached Garages ~~and Sheds~~ on ~~Smaller~~ **Smaller than 18,000 Square Foot Lots.** It is the intent of this Ordinance to permit each single family residential dwelling unit to have a detached garage, ~~and a detached shed.~~ The detached accessory building lot coverage regulations in ~~Section 1.102(A)~~Section 7.202(A) limit the floor area of detached accessory buildings, including detached garages.**

In order to permit detached garages on lots smaller than 18,000 square feet, a principal single family residential dwelling unit without a garage (either attached or detached) may be permitted to construct a detached garage up to 528 square feet in floor area ~~and a detached shed up to 120 square feet in floor area~~, provided that all other requirements of this Ordinance are met.

- ~~(3)~~ **Detached Shed Exemptions.** In residential and agricultural districts, one (1) detached accessory building of up to one hundred twenty (120) square feet may be permitted in addition to the permitted lot coverage as described in Section 7.202(A). No permit shall be required for an accessory building of one hundred twenty (120) square feet or less, but the accessory building will still be required to meet the setback, height, and location standards in Section 7.202(A) and all other applicable standards of this ordinance.

- ~~(3)~~**(4) Lot Coverage.** All detached buildings, except as otherwise specified, shall be considered when calculating compliance with the permitted lot coverage as described in ~~Section 1.102(A)~~Section 7.202(A).

Section 1.103 Accessory Structures or Buildings - Residential and Agricultural Districts

The following regulations shall apply to accessory structures or buildings located in Residential and Agricultural zoning districts (including R-1A, R-2A, R-1B, R-1C, RM, and AG Districts).

- (A) **Use of Accessory Structures.** Attached and detached accessory structures in Residential Districts shall not be used as dwelling units or for any business, trade, profession, or occupation.
- (B) **Prohibited Accessory Structures.** The following accessory structures and buildings are prohibited in Residential and Agricultural Zoning Districts:
 - (1) Accessory buildings and structures which are principally constructed of clear plastic, glass, or membrane type materials shall be prohibited in Residential Districts, except as specifically permitted under ~~Section 1.103(E)~~Section 7.203(E).
 - (2) Temporary carports.

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(C) **Permitted Yard Encroachments.** The following accessory structures and buildings may be constructed in yard setbacks in Residential Districts, subject to the following requirements:

(1) **Open Decks, Paved Terraces and Patios in the Rear Yard Setback.** Open decks, paved terraces and patios which have no roof or other projections above any required railing and which are at or below the finished first floor level of the building may encroach up to ten (10) feet into the required rear yard setback area on any lot, provided that in no case may any paved terrace, patio, deck, or other similar structure be located closer than 25 feet a regulated wetland(s) or a detention pond or non-regulated wetland as shown on an approved site plan.

(2) **Open Decks, Paved Terraces and Patios in the Front Yard Setback.** Open decks, paved terraces, and patios which are at or below the finished first floor level of the building may encroach up to six (6) feet into the required front yard setback area on any lot, provided that in no case may any paved terrace, patio, deck, or other similar structure be located closer than 25 feet a regulated wetland(s) or a detention pond or non-regulated wetland as shown on an approved site plan. Open decks, paved terraces, and patios that encroach into the required front yard setback area may have a required railing and a be covered with a roof that is no higher than the first story and does not encroach more than 6 feet into the front yard setback area. Any deck, terrace or patio that encroaches into the front yard setback must remain open and shall not be enclosed.

(3) **Landscaping, Garden, and Retaining Walls.** Landscaping, garden, and retaining walls raised three feet or less above the finished grade may be located in a yard setback.

(4) **Architectural Features.** Architectural features such as steps may be permitted to encroach into required yards in accordance with [Error! Reference source not found. Section 7.118.](#)

(5) **Swimming Pools.** Swimming pools may be located in required yard setback subject to the requirements in [Error! Reference source not found. Section 7.206.](#)

(6) **Walls, Fences, and Other Protective Barriers.** Walls, fences, and other protective barriers may be located in a yard setback pursuant to [Error! Reference source not found. Section 7.205.](#)

(D) **Flagpoles.** Flagpoles shall not exceed 35 feet in height, and may be located in any required yard setback.

(E) **Greenhouses.** Greenhouses in Residential Districts shall be used only for agricultural or horticultural purposes and shall not be used as storage facilities. Greenhouses are exempt from the requirements in [Section 1.103\(B\)Section 7.203\(B\)](#), but shall meet all other requirements of this [Article 1, Chapter 1Article 7, Chapter 2.](#)

(F) **Carports.** In the case of attached condominiums or apartments, carports may be located in the front yard provided they are not located in a front yard setback area.

Section 1.104 Accessory Structures or Buildings - Non-Residential Districts and Non-Agricultural Districts

(A) Decks, Patios, and Porches. Decks, patios, porches and other similar structures shall not encroach into required setbacks, buffers or greenbelts.

~~**(B) Walls, Fences, and Other Protective Barriers.**~~ Walls, fences, and other protective barriers shall comply with *Error! Reference source not found.*~~*Section 7.205.*~~

(B)

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Charter Township of Van Buren

BOARD OF TRUSTEES

SUPERVISOR Kevin McNamara	CLERK Leon Wright	TREASURER Sharry A. Budd	
TRUSTEE Sherry A. Frazier	TRUSTEE Kevin Martin	TRUSTEE Reggie Miller	TRUSTEE Paul D. White

December 19, 2017

Township Board of Trustees
Charter Township of Van Buren
46425 Tyler Road
Van Buren Township, MI 48111

Subject: Planning Commission Annual Report for 2017

In accordance with P.A. 33 of 2008, as amended, MCL 125.3801 et seq, Michigan Planning Enabling Act, please find the attached annual report regarding Planning Commission activities for 2017. The report is summarized as follows:

Public Hearings: The Planning Commission held ten (10) public hearings.

Preliminary Site Plan Approvals: The Planning Commission granted five (5) preliminary site plan approvals.

Final Site Plan Approvals: The Planning Commission granted four (4) final site plan approvals.

Special Use Recommendations: The Planning Commission recommended two (2) special use approvals to the Township Board.

Site Plan Amendments: The Planning Commission granted seven (7) site plan amendments.

Temporary Land Use Approvals: The Planning Commission granted four (4) temporary land use permits.

Rezoning Recommendations: The Planning Commission made two (2) rezoning recommendations to the Township Board.

Zoning Text Amendment Recommendations: The Planning Commission made three (3) zoning text amendment recommendation to the Township Board.

Tree Removal Permits: The Planning Commission granted one (1) tree removal permit.

Harold Smith Master Plan Amendment: The Planning Commission approved the distribution of the notice of intent to plan for the Master Plan Amendment and they recommended the distribution of the Master Plan Amendment to the Township Board of Trustees. The amendment is to change the future land use designation of the property from single family residential to light industrial.

2017 Zoning Ordinance Adoption: The Planning Commission has been working on a comprehensive update to the Township's Zoning Ordinance since 2014. The final document was drafted and public hearings were conducted in 2017 and the Planning Commission recommended the final document to the Township Board of Trustees for final approval. The new Zoning Ordinance went into effect in June 2017.



Charter Township of Van Buren

BOARD OF TRUSTEES

SUPERVISOR Kevin McNamara	CLERK Leon Wright	TREASURER Sharry A. Budd	
TRUSTEE Sherry A. Frazier	TRUSTEE Kevin Martin	TRUSTEE Reggie Miller	TRUSTEE Paul D. White

Other Items of Note: In addition to the above mentioned items, the Planning Commission has worked on a few other items which are worthy of note. The Township also adopted, for the first time, an ordinance which regulates the placement of structures on the Township owned property adjacent to Belleville Lake. This topic has been under discussion for over twenty (20) years and was only possible due to the work of the residents who live on the lake who volunteered many hours on a workgroup to discuss this issue. Lastly, on November 29, 2017 the Van Buren Township Planning Commission and the City of Belleville Planning Commission conducted a joint meeting to discuss common issues and opportunities. This has provided an opportunity for future dialogue between the Planning Commissions of our two (2) communities.

If there are any additional comments or questions with regards to this report please feel free to contact me.

Respectfully submitted,

Ron Akers, AICP
Director of Planning & Economic Development
Charter Township of Van Buren

2017 Planning Commision Activities

Meeting Date	Case #	Project Name	Action Type	Action
January 25, 2017	N/A	Zoning Ordinance Amendment - Belleville Lake Shoreline District	Public Hearing	N/A
February 8, 2017	N/A	Zoning Ordinance Amendment - Belleville Lake Shoreline District	Recommend to Township Board	Approved
February 22, 2017	14-007	Menards Store - 10010 Belleville Road	Public Hearing	N/A
February 22, 2017	14-007	Menards Store - 10010 Belleville Road	Recommend Special Use to Township Board	Approved
February 22, 2017	14-007	Menards Store - 10010 Belleville Road	Tree Removal Permit	Approved
February 22, 2017	14-007	Menards Store - 10010 Belleville Road	Final Site Plan	Approved
February 22, 2017	17-004	Phantom Fireworks - 2095 Rawsonville Road (Lakewood Shopping Center)	Temporary Land Use	Approved
February 22, 2017	17-005	Allen Edwin Homes - Country Walk Architectural Elevations	Site Plan Amendment	Approved
March 22, 2017	14-022	Townplace Suites Hotel Elevation Modification - 46418 N. I-94 Service Drive	Site Plan Amendment	Approved
March 22, 2017	17-008	Planet Fitness Façade Improvement - 10900 Belleville Road	Site Plan Amendment	Approved
March 22, 2017	17-010	TNT Fireworks - 10562 Belleville Road (Walmart)	Temporary Land Use	Approved
March 22, 2017	17-011	USA Fireworks - 6020 Denton Road (Faith United Methodist)	Temporary Land Use	Approved
April 12, 2017	N/A	2017 New Zoning Ordinance	Public Hearing	N/A
April 12, 2017	17-006	Rezoning - 40631 Alden Drive (C-1 to R1-C)	Public Hearing	N/A
April 12, 2017	17-006	Rezoning - 40631 Alden Drive (C-1 to R1-C)	Recommend Rezoning to Township Board	Approved
April 26, 2017	N/A	2017 New Zoning Ordinance	Recommend to Township Board	Approved
April 26, 2017	16-037	Speedway - Belleville Road	Preliminary Site Plan	Approved
April 26, 2017	17-013	Hampton Inn Exterior Renovation - 46280 N. I 94 Service Drive	Site Plan Amendment	Approved
May 10, 2017	17-007	Continental Canteen Addition - 7850 Haggerty Road	Preliminary Site Plan	Approved
May 24, 2017	17-016	Belleville Yacht Club Accessory Building - 831 E. Huron River Drive	Public Hearing	N/A
May 24, 2017	17-014	Rezoning - 49412 Michigan Avenue (C & C-2 to C-1)	Public Hearing	N/A
May 24, 2017	17-016	Belleville Yacht Club Accessory Building - 831 E. Huron River Drive	Recommend Special Use to Township Board	Approved
May 24, 2017	17-014	Rezoning - 49412 Michigan Avenue (C & C-2 to C-1)	Recommend Rezoning to Township Board	Approved
June 14, 2017	17-020	Angry Tiger Fireworks - 41001 E. Huron River Drive	Temporary Land Use	Approved
June 28, 2017	17-016	Belleville Yacht Club Accessory Building - 831 E. Huron River Drive	Final Site Plan	Approved
July 26, 2017	17-023	Grace Lake Corporate Center New Building - 1 Village Center Drive	Preliminary Site Plan	Approved
July 26, 2017	17-022	Infinity Homes - Country Walk Architechtual Elevations	Site Plan Amendment	Approved
September 13, 2017	17-018	Parallel Infrastructure New Cell Tower - 43430 Ecorse Road	Public Hearing	N/A
September 13, 2017	17-018	Parallel Infrastructure New Cell Tower - 43430 Ecorse Road	Preliminary Site Plan	Approved
October 4, 2017	17-007	Continental Canteen Addition - 7850 Haggerty Road	Final Site Plan	Approved
October 25, 2017	N/A	Zoning Ordinance Amendment - Repeal of Medical Marihuana Cultivation Facilities	Public Hearing	N/A
October 25, 2017	N/A	Zoning Ordinance Amendment - Detention Pond Location, Distribution Pavement Setback	Public Hearing	N/A
October 25, 2017	17-031	Upland Homes - Country Walk Architectural Elevations	Site Plan Amendment	Approved
October 25, 2017	17-024	Harold Smith Farm Master Plan Amendment - 50015 Michigan Avenue	Distribute Notice of Intent to Plan	Approved
October 25, 2017	17-029	DDA Placemaking Project - 10151 Belleville Road	Preliminary Site Plan	Approved
October 25, 2017	N/A	Zoning Ordinance Amendment - Repeal of Medical Marihuana Cultivation Facilities	Recommend to Township Board	Approved
October 25, 2017	N/A	Zoning Ordinance Amendment - Detention Pond Location, Distribution Pavement Setback	Recommend to Township Board	Approved
November 8, 2017	17-030	Ashley Capital Crossroads North - Ecorse Road	Public Hearing	N/A
November 8, 2017	16-037	Speedway - Belleville Road	Final Site Plan	Approved
November 8, 2017	17-024	Harold Smith Farm Master Plan Amendment - 50015 Michigan Avenue	Recommend Distribution to Township Board	Approved
November 8, 2017	17-034	Gilbert Homes - Arlene Arbors Architectural Elevations	Site Plan Amendment	Approved