

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION AGENDA
Wednesday, August 9, 2017 – 7:30 PM, Board of Trustees Room**

CALL TO ORDER:

ROLL CALL:

APPROVAL OF AGENDA:

MINUTES:

ITEM #1: Approval of minutes from the regular meeting of July 26, 2017.

CORRESPONDENCE:

PUBLIC HEARING:

UNFINISHED BUSINESS:

NEW BUSINESS:

ITEM #1: 17-027 -- ALLEN EDWIN HOMES ELEVATION MODIFICATION

TITLE: THE APPLICANT, ALLEN EDWIN HOMES, IS REQUESTING A SITE PLAN AMENDMENT TO MAKE MODIFICATIONS TO THEIR PREVIOUSLY APPROVED HOME PLANS FOR THE COUNTRY WALK DEVELOPMENT.

LOCATION: THE COUNTRY WALK SUBDIVISION IS THE SUBJECT OF THE REQUEST. THE DEVELOPMENT IS LOCATED ON THE EAST SIDE OF MARTINSVILLE ROAD, NORTH OF SAVAGE ROAD.

- A. Presentation by the applicant.
- B. Presentation by the Township Staff and Consultants.
- C. Planning Commission discussion
- D. Planning Commission considers action on the proposed site plan amendment

GENERAL DISCUSSION:

ITEM #1: POTENTIAL SHORT TERM RENTAL ZONING REGULATIONS

ITEM #2: PLANNING COMMISSION ORIENTATION PACKETS

ADJOURNMENT:

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION
JULY 26, 2017
MINUTES - DRAFT**

Vice Chairperson Boynton called the meeting to order at 7:35 p.m.

ROLL CALL:

Present: Franzoi, Budd, Atchinson, Kelley and Boynton.

Excused: Thompson.

Staff: Director Akers and Secretary Harman.

Planning Representatives: McKenna Associate, Patrick Sloan and Fishbeck Associate, David Potter.

Audience: Five (5).

APPROVAL OF AGENDA:

Motion Atchinson, Kelley second to approve the agenda of July 26, 2017 as presented.

Motion Carried.

APPROVAL OF MINUTES:

Motion Kelley, Atchinson second to approve the regular meeting minutes of June 28, 2017 as presented. Motion Carried.

Director Akers introduced David Potter of Fishbeck, Thompson, Carr & Huber, Inc. (Fishbeck).

NEW BUSINESS:

ITEM # 1 17-023 – PRELIMINARY SITE PLAN APPROVAL

TITLE: THE APPLICANT, SMITH GROUP JJR, IS REQUESTING PRELIMINARY SITE PLAN APPROVAL TO BUILD A FOUR (4) STORY OFFICE/LABORATORY BUILDING AT THE GRACE LAKE CORPORATE CENTER LOCATED AT 1 VILLAGE CENTER DRIVE, VAN BUREN TOWNSHIP, MI 48111.

LOCATION: PARCEL NUMBER V125-83-045-99-0020-705, ADDRESS: 1 VILLAGE CENTER DRIVE. THE DEVELOPMENT IS LOCATED BETWEEN ECORSE ROAD AND TYLER ROAD AND BETWEEN HANNAN ROAD AND I-275.

Patrick Westerlund of Smith Group JJR gave the presentation. Mr. Westerlund displayed the preliminary site plan and discussed the location of the proposed building on the west side of Grace Lake. He also discussed the desire to keep the pedestrian flow by extending the existing walkway, minor changes to the existing parking lot to include a drop off zone, the addition of an overlook on the west side of the lake and displayed samples of the exterior façade materials.

Patrick Sloan of McKenna Associates presented his review letter dated 7-21-17 recommending preliminary site plan approval subject to the following conditions:

1. The total areas and tax identification numbers must be included on the site plan.
2. Setback dimensions must be included on the plans to ensure compliance.
3. That the number and dimensions of parking spaces shown on the plans be approved based on previous site plan approvals, as well as the unique nature of the scale and the variety of uses on the site.

4. The applicant shall clarify the interior landscaping and add at least one tree to any island that does not have a tree or light pole.
5. The landscaping calculations reflect what is required and what is provided for interior landscaping.
6. Any replacement trees must be clearly labeled on the landscape plan and are in addition to the required landscape trees.
7. The light poles proposed for relocation and their proposed location must be shown, as it is unclear from the site plan.
8. That any new signs, other than wayfinding signage within the site, must be included on the site plan.

Fishbeck Associate, David Potter, presented his review letter dated 7-21-17 recommending the Planning Commission grant preliminary site plan approval subject to the following conditions:

1. A revised BOD be submitted for the Grace Lake Corporate Center Water System master plan, based up on the current Master Site Plan expansions.
2. A revised BOD be submitted for the Grace Lake Corporate Center Sanitary Sewer master plan, based upon the current Master Site Plan expansions.
3. An overland flow route be identified for Grace Lake and the overland flow route be coordinated with future development to preserve the overland flow route to a positive outlet.
4. It should be noted that while the existing access is through Lake Shore Drive, it will be necessary for the Developer to revise the traffic study for the Grace Lake Corporate Center transportation plan, based upon the current Master Site Plan expansions.

Director Akers presented the Fire Department review letter dated 7-26-17 recommending approval. The applicant agreed to the conditions presented in the planning, fire and engineering reviews. Commissioners inquired if the Building B is a spec building, the applicant does not have tenants lined up yet. No comments from the audience.

Motion Kelley, Budd second to grant Smith Group JJR preliminary site plan approval to build a four (4) story office/laboratory building at the Grace Lake Corporate Center located at 1 Village Center Drive based on the analysis and conditions in the McKenna Associates review letter dated 7-21-17, Fire Department review letter dated 7-26-17, Fishbeck review letter dated 7-21-17 and accepting the existing parking lot requirements. Motion Carried. (Letters Attached)

ITEM # 2 17-022 – SITE PLAN AMENDMENT

TITLE: THE APPLICANT, INFINITY CONSTRUCTION SERVICES, IS REQUESTING AN AMENDMENT TO THE APPROVED COUNTRY WALK SITE PLAN FOR REVISED SINGLE FAMILY ARCHITECTURAL ELEVATIONS.

LOCATION: THE UNFINISHED COUNTRY WALK SUBDIVISION IS THE SUBJECT OF THE REQUEST. THE DEVELOPMENT IS LOCATED ON THE EAST SIDE OF MARTINSVILLE ROAD, NORTH OF SAVAGE ROAD.

Rino Suave of Infinity Acquisitions, LLC gave the presentation. Infinity Construction has been in business 16 years and is currently working in a dozen communities. The applicant is purchasing about

forty (40) lots in the Country Walk subdivision and is seeking an amendment to the site plan to construct the proposed home elevations in phases 3 and 4.

Director Akers presented his staff memo dated 7-21-17 recommending that the Planning Commission approve an amendment to the site plan for the Country Walk development in order to allow Infinity Homes to construct homes consistent with the provided plans, which depict elevations to be constructed in phases 3 and 4 of the Country Walk development conditioned upon the following:

1. Township Planning Staff shall review each application for a new single family home in Country Walk Phase 3 and Phase 4 in order to determine that the new home meets the required setbacks and that the elevation meets the Township's "Substantially Different" architectural design stands set forth in the PRD agreement for the Country Walk development.

Commissioners discussed how many lots will be built upon, the sales model and spec homes, how the different home elevations will be marketed, phases the lots are located in, square footage requirements for the PRD and how the smallest home elevation affects those requirements, brick to the belt core to be required on the back of all home elevations and the Commission and Staff encouraged the builder to communicate with the homeowners association of each phase during the building process regarding road maintenance.

No comments from the audience.

Motion Kelley, Franzoi second to approve the amendment to the site plan for the Country Walk development to allow Infinity Homes to construct homes consistent with the provided plans which depict elevations to be constructed in phases 3 and 4 of the Country Walk development with approval based on staff review and subject to the recommendations in the staff review letter dated 7-26-17 with an additional condition for the applicant to make a revision to the Oakhurst plan to change the brick to the belt core on the back side of the home elevation. Motion Carried. (Letter Attached)

GENERAL DISCUSSION: None.

Motion Atchinson, Budd second to adjourn at 8:32 p.m. Motion Carried.

Respectfully submitted,

Christina Harman
Recording Secretary



Memo

DATE: August 4, 2017
TO: Planning Commission
FROM: Ron Akers, AICP – Director of Planning & Economic Development
RE: SPR 17-027 Allen Edwin Homes Elevation Modification.

The applicant Allen Edwin homes has proposed some modifications to their existing approved elevations for the Country Walk Development. As part of this review I will walk through the changes between the current submittal and the elevations which were previously approved and offer an evaluation similar to what we have completed for the prior submittals. Please consider the following:

T1600 – A3

- Minor siding changes.
- Changes to window configuration.

T1600 – B3

- Minor siding changes.
- Change to a more decorative pillar
- Slightly larger front porch.

T1600 – C3

- Changes to window configuration.
- Change to a more decorative pillar
- Removes railing on front porch.
- Removes small overhang over garage.

T2200 – A3

- Minor siding changes.
- Change in window shutters.
- Change to a more decorative pillar.

T2200 – B3

- Minor siding changes.
- Addition of supports on front porch post.

- Added fake shutters.

T2200 – C3

- Added supports on front porch posts.

T2300 – A3

- Minor siding changes.
- Changes to front entryway:
 - Change to decorative pillars.
 - Change roof pitch on front porch.
 - Change window configuration.

T2300 – B3

- Minor siding change.
- Change to decorative pillars on front porch.
- Change window configuration.

T2300 – C3

- Change window configuration.
- Change to decorative pillars on the front porch.

T2330 – A3

- Changed to decorative front porch pillars.
- Changed window configuration.
- Minor siding changes.
- Added a dormer element.

T2330 – B3

- Shortened front porch.
- Changed to decorative front porch pillars.
- Changed window configuration.
- Changed location of roof lines.

T2330 – C3

- Changed to decorative front porch pillars.
- Changed to different window configuration.
- Added a dormer element.
- Changed location of roof lines.

T3100 – A3

- Minor siding changes.
- Changed window configuration.

T3100 – B3

- Added supports on front porch posts.
- Changed window configuration.
- Minor siding changes.

T3100 – C3

- Removed railing on front porch.
- Changed to more decorative front porch pillars.
- Changed window configuration.

T3100 – A1

- Elevation does not depict brick to the belt.

T3100 – A2

- Elevation does not depict brick to the belt.

T3100 – B1

- Elevation does not depict brick to the belt.

T3100 – B2

- Elevation does not depict brick to the belt.

T3100 – C1

- Elevation does not depict brick to the belt.

T3100 – C2

- Elevation does not depict brick to the belt.

PRD/Zoning Ordinance Based Comments

1. Site Plan

I have attached the plans for each phase to this review. The setbacks, as described in the site plan for the Country Walk approved site plan, depict a front and rear yard setback of 25' and a required side yard setback of 10'. The lots sizes in the development vary in width from 75' to 61' and in depth from 120' to 125'.

The submitted plans do not include dimensions for the various floor plans, but the previously approved elevations do have dimensions which will comply with this requirement. The applicant will need to verify that the dimensions of the homes will be consistent with what is already approved or they will need to provide new dimensions for review.

2. Floor Area

The PRD agreement requires that the square footages of homes for the 536 units in the subdivision will average at least 1,750 square feet. The previously approved plans depict square footages which comply with this requirement. The applicant will need to verify that these have not changed for models to be amended or provide the new floor areas for review.

3. Façade Elevations

The Zoning Ordinance and the PRD agreement have specific requirements to ensure that the Township's "Substantially Different" architectural design standard is met. Section j(ix) of the PRD agreement specifically requires that the "Substantially Different" requirement be met by varying the following two (2) criteria:

- Roof pitch by varying three or more vertical units in twelve from one another (i.e. 6/12, 9/12, 12/12, etc.)
- Location of major design features relative to main mass by varying the location of at least two major design features that include, but are not limited to dormers, gables, garages (i.e. front-entry versus side-entry), and porches.

The previously approved building elevations have been able to meet this requirement. The original review of this standard from the original submittal selected eight (8) of the models to compare. These models were from the "Elements" home plans offered by Allen Edwin Homes. The proposed changes are only to the "Traditions" home plans which are different. Due to this the proposed changes will have no impact on the original review and thus the changes will not impact the applicant's ability to meet this requirement.

4. Building Materials

Section i(1) of the PRD agreement requires that all 416 detached units feature brick to the belt on the front and side elevations and requires that on specific lots brick will be required on the rear elevation as well.

All of the proposed plans meet this requirement except the T3100 A1, T3100 A2, T3100 B1, T3100 B2, T3100 C1, and T3100 C2. Due to this the applicant will need to either remove these elevations from the portfolio or revised them to include brick to the belt course on at least three (3) sides (front & sides) to meet this requirement.

5. Side Entry Garages

The PRD agreement requires that at least 30% of the single family detached units have side entry garages and specifically indicates which lots are required to have side entry garages. The language in the PRD Amendment states:

"6.1.11. Side entry garages are required on at least 30% of single-family detached units. The following 125 single-family detached units will have side-entry garages.

1-4, 15, 16, 34, 36, 47-49, 58-60, 66-68, 70, 75, 76, 82, 86, 92, 93, 96-110, 115, 117, 120, 121, 128, 130, 135-137, 149-151, 153, 159, 164, 165, 171, 173, 177, 178, 185-187, 192-195, 198, 200, 204, 213, 218, 225-228, 235, 237, 240, 244, 247-250, 253, 254, 260, 261, 266, 274, 286-288, 294, 295, 297, 303, 305, 308, 311-313, 317-321, 323, 324, 326, 327, 330, 363, 368, 369, 381, 390, 398, 400, 406, 407, 411, 413-416.”

The proposed elevations do not include options for side entry garages, but the previously approved plans do. The applicant is able to meet this requirement using the previously approved plans.

Recommendation

In order for Allen Edwin homes to move forward with this new elevation portfolio the applicant will need to provide/do the following”

1. Verify that the dimensions of the homes are similar to what has already been approved; or new dimensions will need to be provided.
2. Verify that the floor area of the homes are similar to what has already been approved; or provide the dimensions of the floor area of the homes.
3. Revised plans T3100 A1, T3100 A2, T3100 B1, T3100 B2, T3100 C1, and T3100 C2 to include brick to the belt on at least three (3) sides, or remove them from the portfolio.

Based on the above comments, approval is not recommended until the applicant addresses the above mentioned issues.

Sincerely,

Ron Akers, AICP
Director of Planning & Economic Development
Charter Township of Van Buren

T1600

BUILDER:



2186 E. Centre Street Portage, MI 49002
 (269) 321-2600 www.allenedwin.com

It is the contractor's responsibility to verify all details and dimensions. All work shall be performed in accordance with all applicable national, state, and local codes and regulations. All dimensions are to rough frame of studs or to the outside of masonry. All footings to be below frost line and must rest on undisturbed soil capable of handling the building. All penetrations are to be sealed in accordance with state and local codes.

FIRST FLOOR PLAN LAYOUT

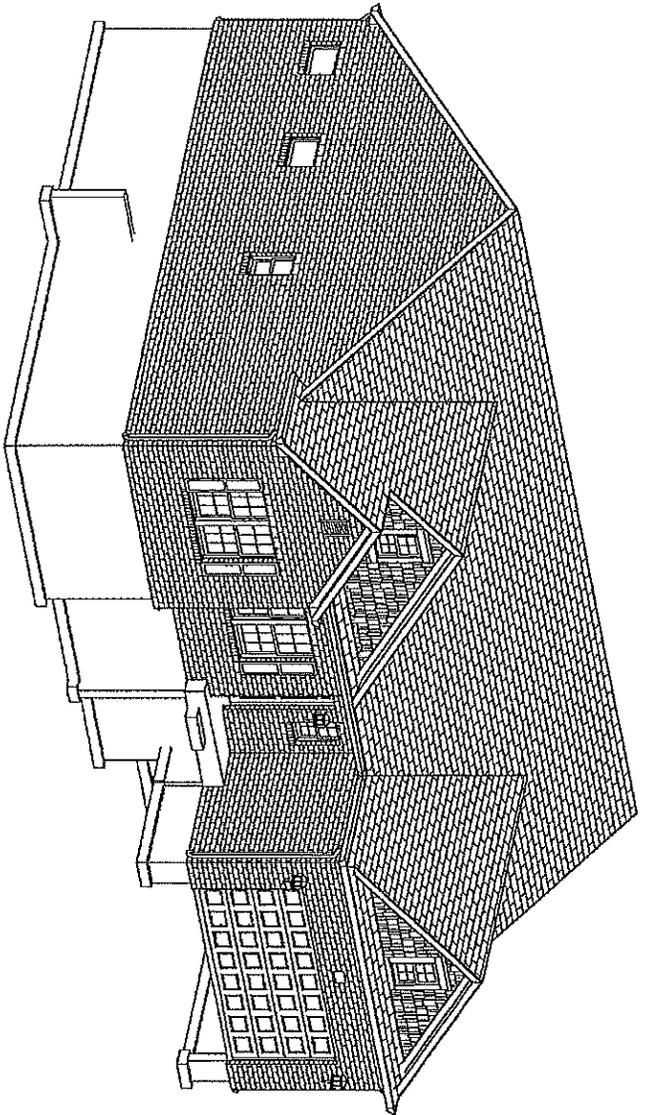
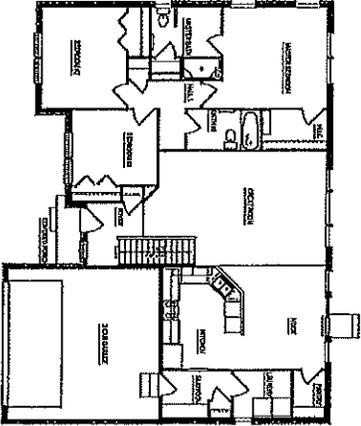


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S-01	SECTIONS
R-01	ROOF PLAN
E-01	BASEMENT ELECTRICAL PLAN
E-02	FIRST FLOOR ELECTRICAL PLAN

PROJECT INFORMATION

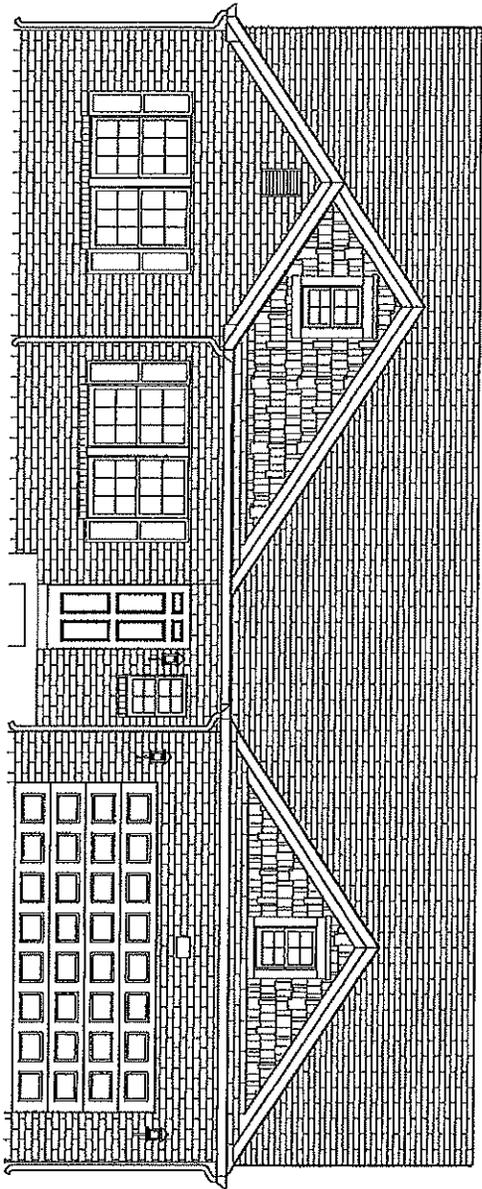
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TOTAL HEATED	1661	SQ.FT.
GARAGE	401	SQ.FT.
FRONT PORCH	0	SQ.FT.
BACK PORCH	0	SQ.FT.
UNFINISHED BASEMENT	3054	SQ.FT.

*FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS HOUSE
 WERE OBTAINED FROM THE ARCHITECT'S DRAWINGS AND MAY VARY FROM
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T1600
 FOR: Allen Edwin Homes
 LOT#: _____
 LOCATION: _____
 SHEET NUMBER: CS-01

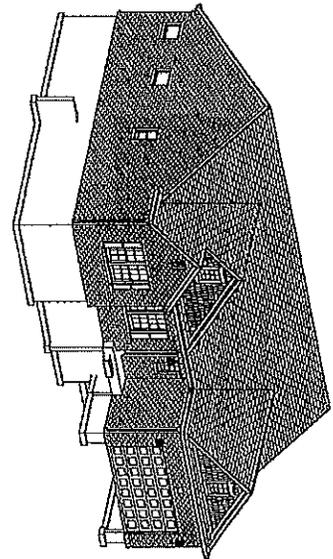
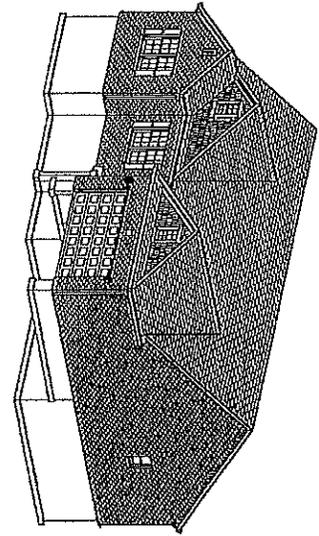
ALLEN EDWIN HOMES
 2186 E. Centre Street
 Portage, MI 49002
 (269) 321-2600
 www.allenedwin.com

ELEVATION A3	REV. NO.	DATE	REMARKS
GARAGE RIGHT			
REVISION	V7.0a		



FRONT ELEVATION A3

SCALE 1/8"=1'-0"



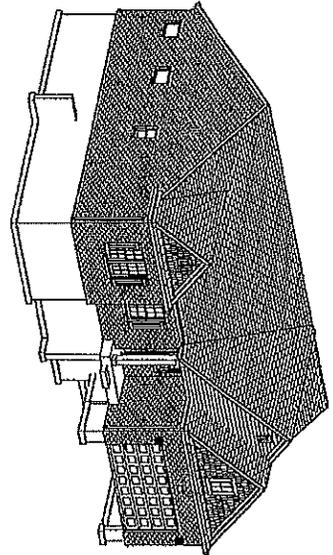
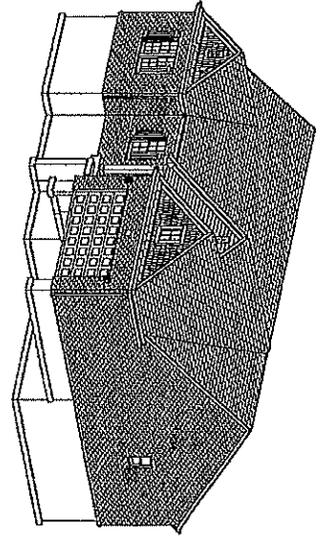
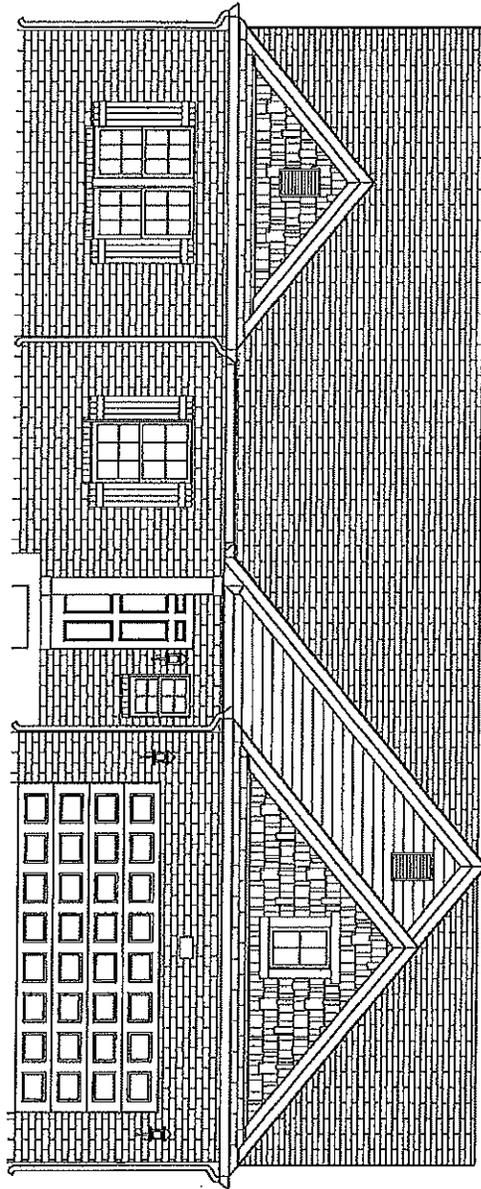
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	FOR: Allen Edwin Homes	
	LOT #:	
	LOCATION:	

ALLEN EDWIN HOMES
 2166 E. Centre Street
 Farmington, MI 48302
 (248) 321-2600
 www.allenedwin.com

ELEVATION A3		REV. NO.	DATE	REMARKS
GARAGE RIGHT				
REVISION	V7.0a			

FRONT ELEVATION B3

SCALE 1/8"=1'-0"



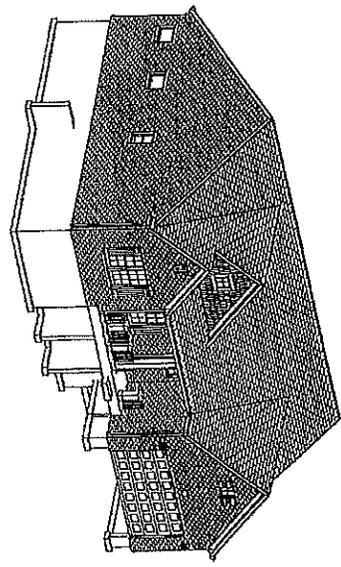
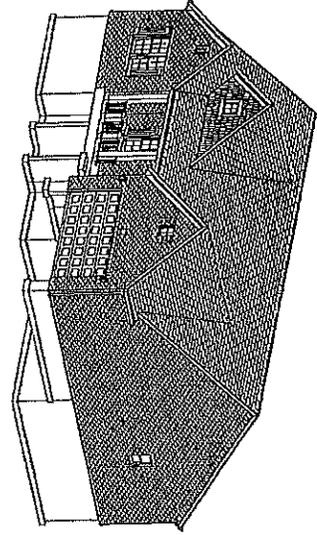
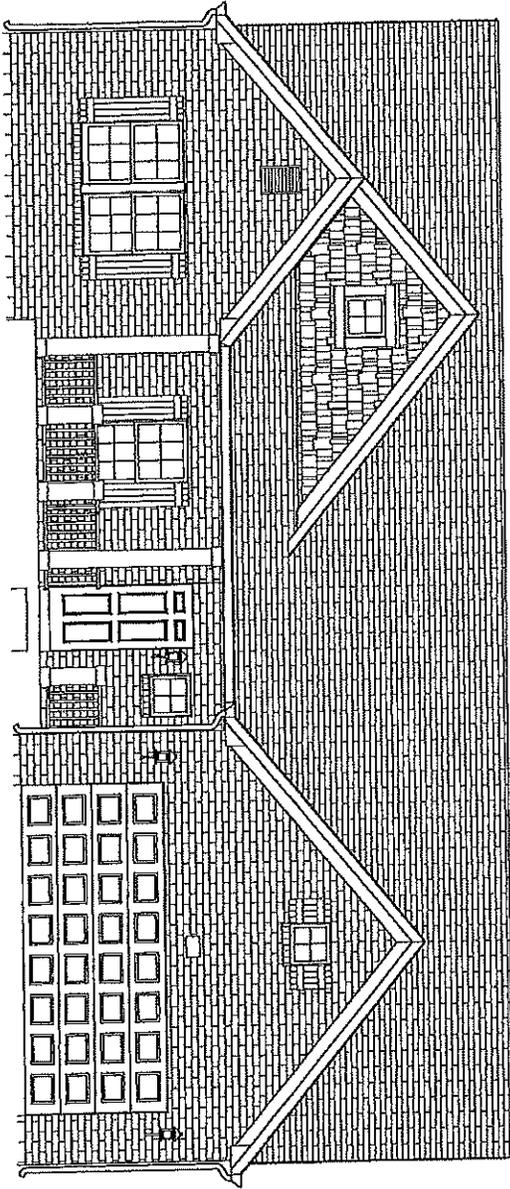
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	FOR: Allen Edwin Homes	
	LOT #	
	LOCATION:	

	ALLEN EDWIN HOMES
	2186 E. Centre Street Portage, MI 49002 (269) 821-2800 www.allenedwin.com

ELEVATION B3	REV. NO.	DATE	REMARKS
GARAGE RIGHT			
REVISION	V7.0a		

FRONT ELEVATION C3

SCALE: 1/4"=1'-0"



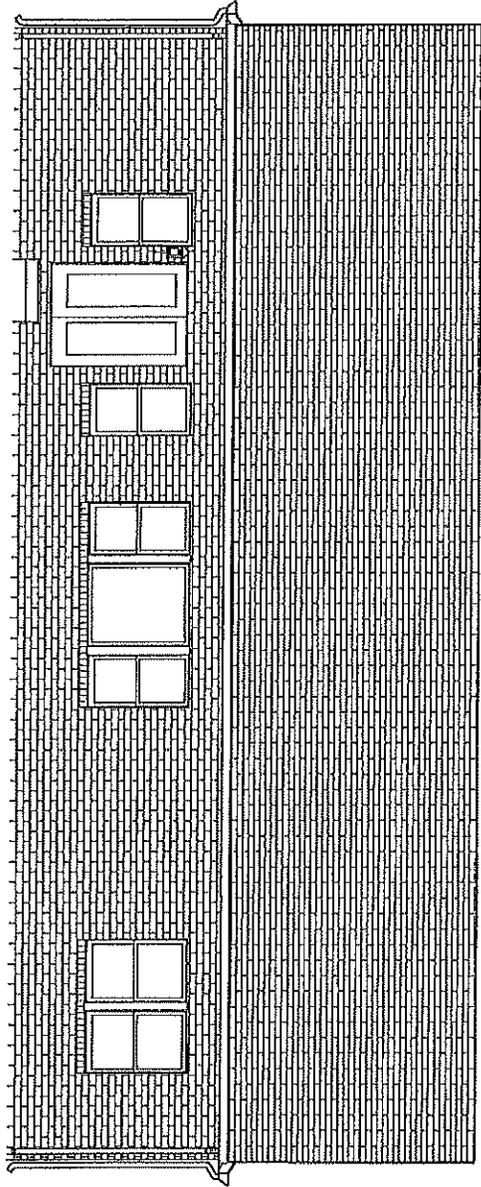
T1600
 FOR: _____
 Allen Edwin Homes
 LOT #: _____
 LOCATION: _____

PRINT DATE: 12/09/2015

A-01

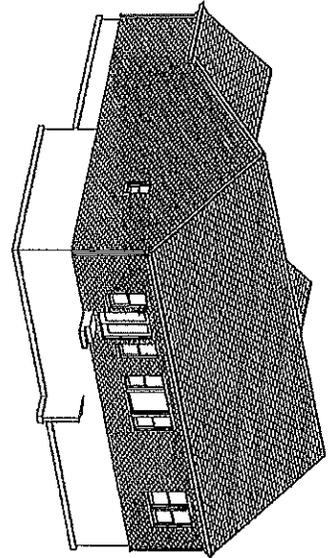
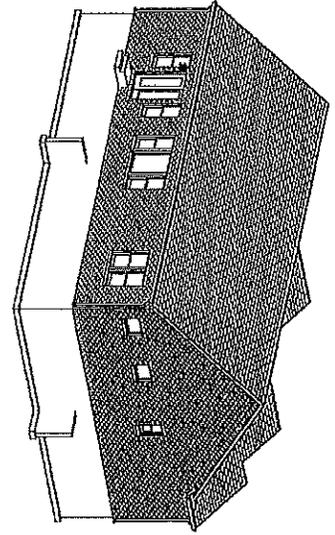
ALLEN EDWIN HOMES
 2166 E. Centre Street
 Portage, MI 49002
 (269) 321-2600
 www.allenedwin.com

REV. NO.	DATE	REMARKS
ELEVATION C3		
GARAGE RIGHT		
REVISION	V7.0a	



REAR ELEVATION

SCALE 1/4"=1'-0"



A-02	T1600	PRINT DATE 12/09/2015
	FOR: Allen Edwin Homes	
	LOT #:	
	LOCATION:	

ALLEN EDWIN HOMES
 2166 E. Conlee Street
 Portage, MI 49002
 (269) 321-2500
 www.allenedwin.com

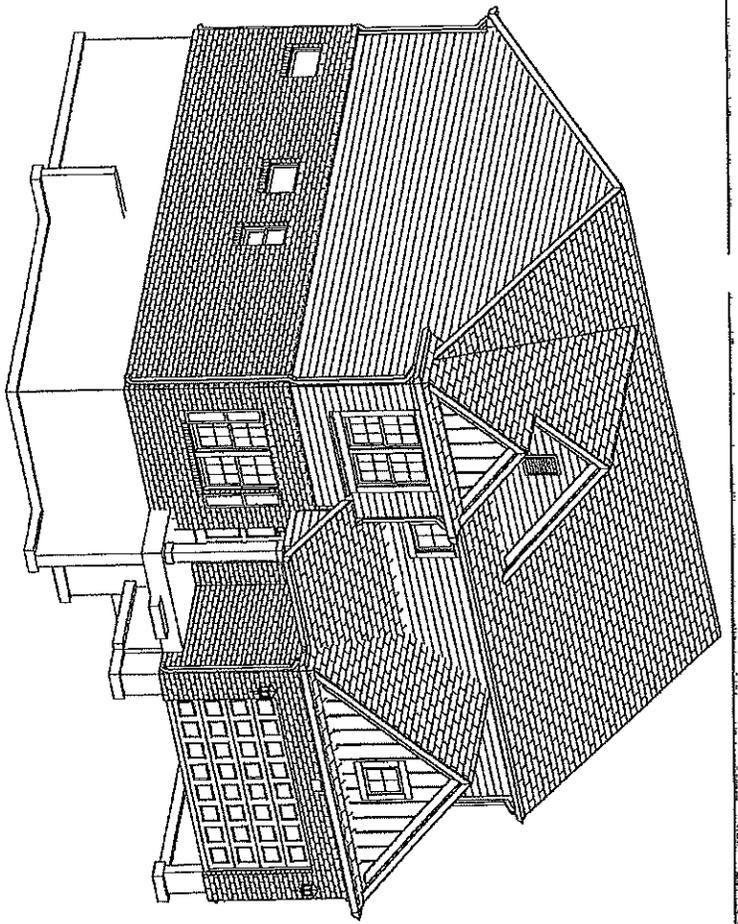
ELEVATION A3		REV. NO.	DATE	REMARKS
GARAGE RIGHT				
REVISION	VT.Dx			

T2200



2186 E. Centre Street Portage, MI 49002
(269) 321-2800 www.allenedwin.com

LEADER:
The contractor's responsibility to verify all details and dimensions. Work shall be performed in accordance with all applicable national, state, and local codes and regulations. Dimensions are to rough frame of studs or to the outside of masonry. Footings to be below frost line and must rest on undisturbed soil capable of handling the building. Penetrators are to be sealed in accordance with state and local codes.



SECOND FLOOR PLAN LAYOUT

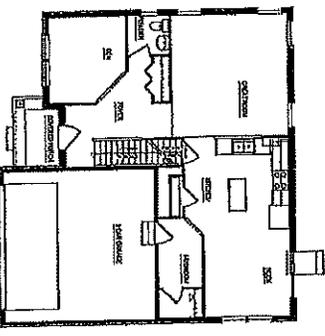


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E-01	BASEMENT ELECTRICAL PLAN
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E-03	SECOND FLOOR ELECTRICAL PLAN

PROJECT INFORMATION

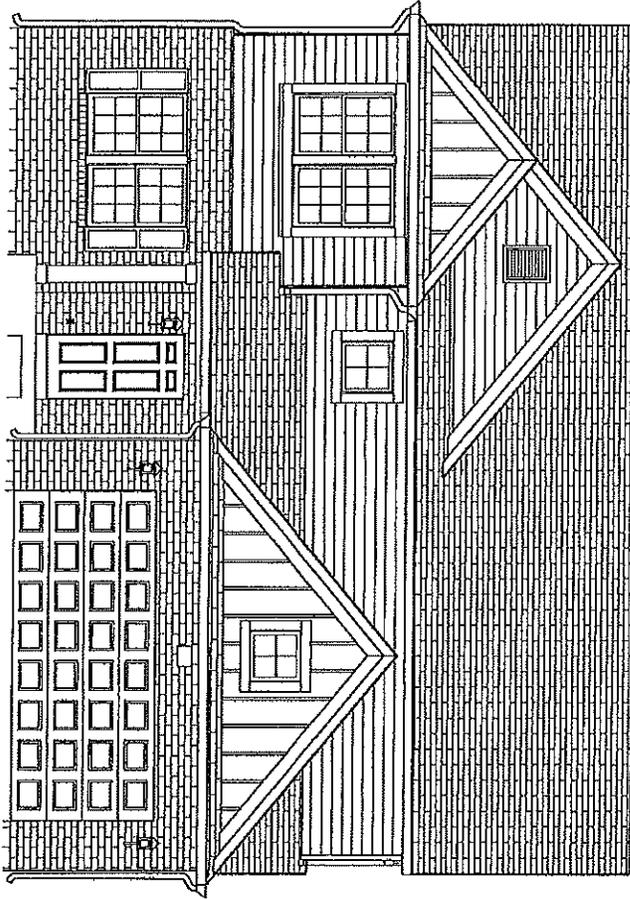
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GARAGE	389	SQ.FT.
FRONT PORCH	88	SQ.FT.
BACK PORCH	0	SQ.FT.
UNFINISHED BASEMENT	897	SQ.FT.

FINISHED SQUARE FOOTAGE DOES NOT INCLUDE PORCHES AND PATIOS. UNFINISHED SQUARE FOOTAGE DOES NOT INCLUDE PORCHES AND PATIOS. FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT.

ELEVATION AS	REV. NO.	DATE	REMARKS
GARAGE RIGHT			
REVISION	NO. 1	07/21/15	

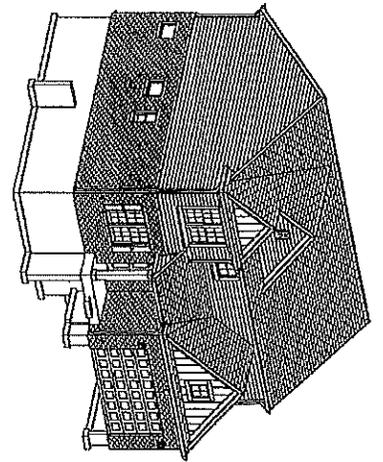
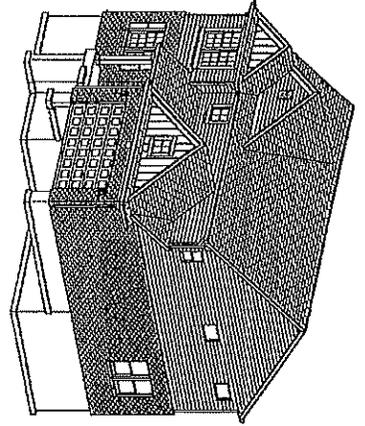
ALLEN EDWIN HOMES
2186 E. Centre Street
Portage, MI 49002
(269) 321-2800
www.allenedwin.com

T2200
FOR: Allen Edwin Homes
LOT: []
LOCATION: []
SHEET NUMBER: CS-01
PRINT DATE: 12/09/2015



FRONT ELEVATION A3

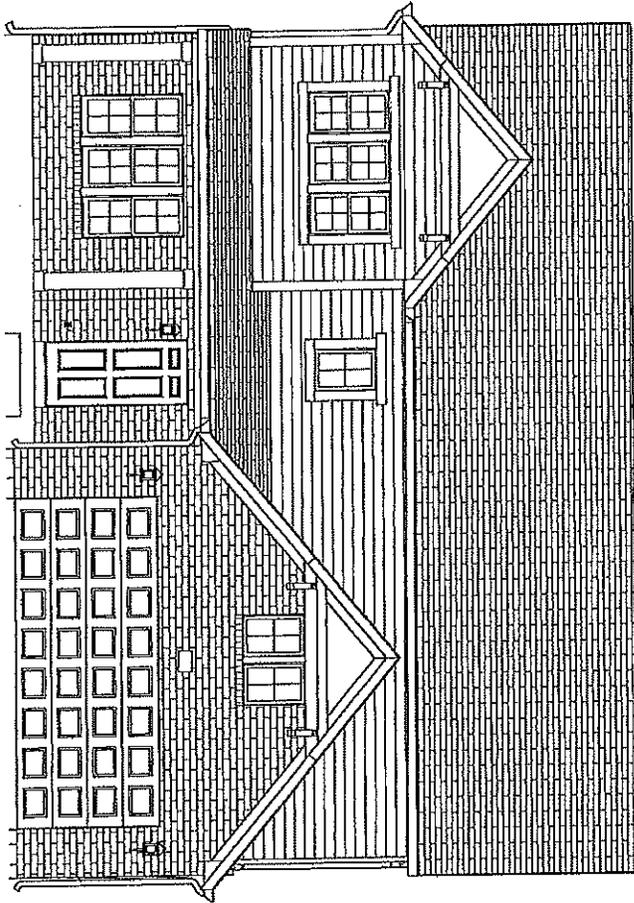
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	FOR: Allen Edwin Homes	
	LOT #:	
	LOCATION:	

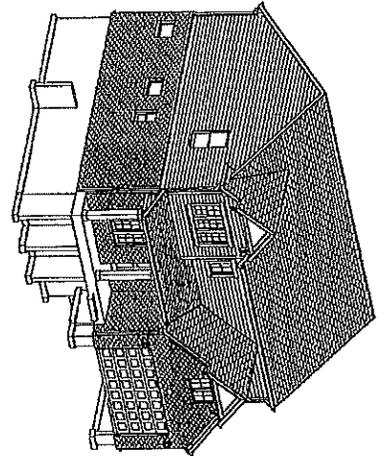
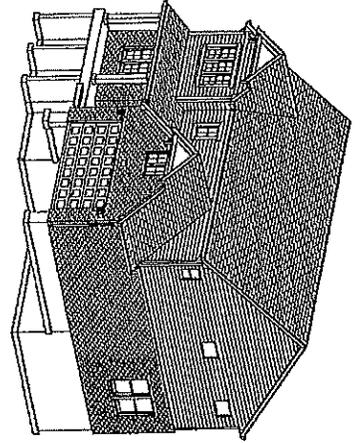
ALLEN EDWIN HOMES
 2186 E. Centre Street
 Portage, MI 49002
 (289) 321-2800
 www.allenadwkh.com

ELEVATION A3	REV. NO.	DATE	REMARKS
GARAGE RIGHT			
REVISION	V7.06		



FRONT ELEVATION B3

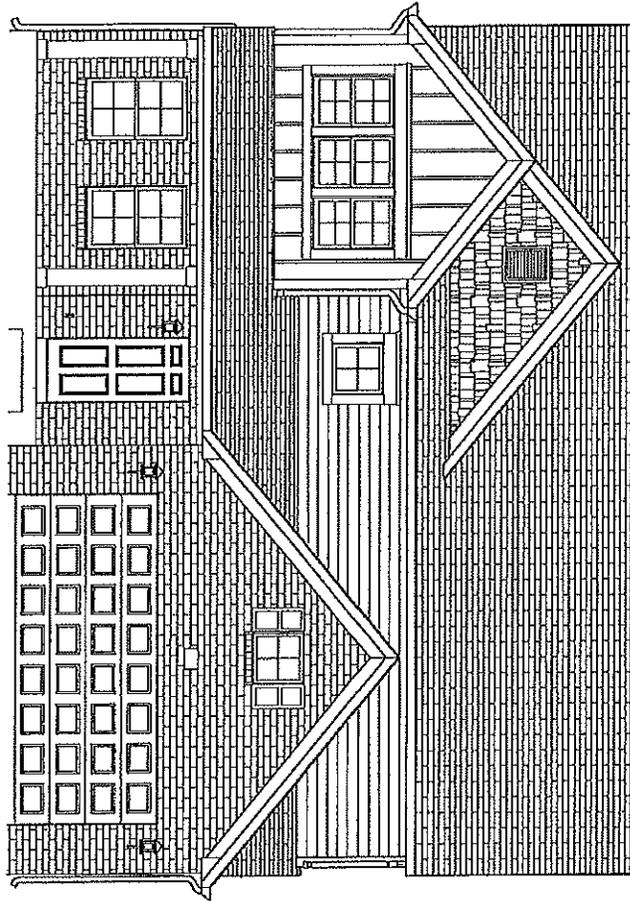
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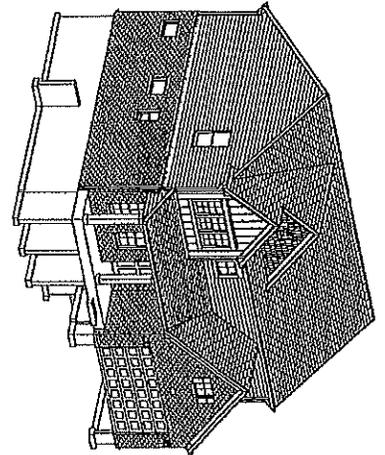
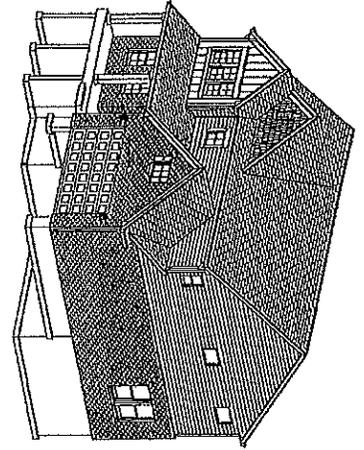
ALLEN EDWIN HOMES
 2188 E. Centre Street
 Portage, MI 49002
 (269) 321-2600
 www.allenedwin.com

ELEVATION B3		REV. NO.	DATE	REMARKS
GARAGE RIGHT				
REVISION	V7.00			



FRONT ELEVATION C3

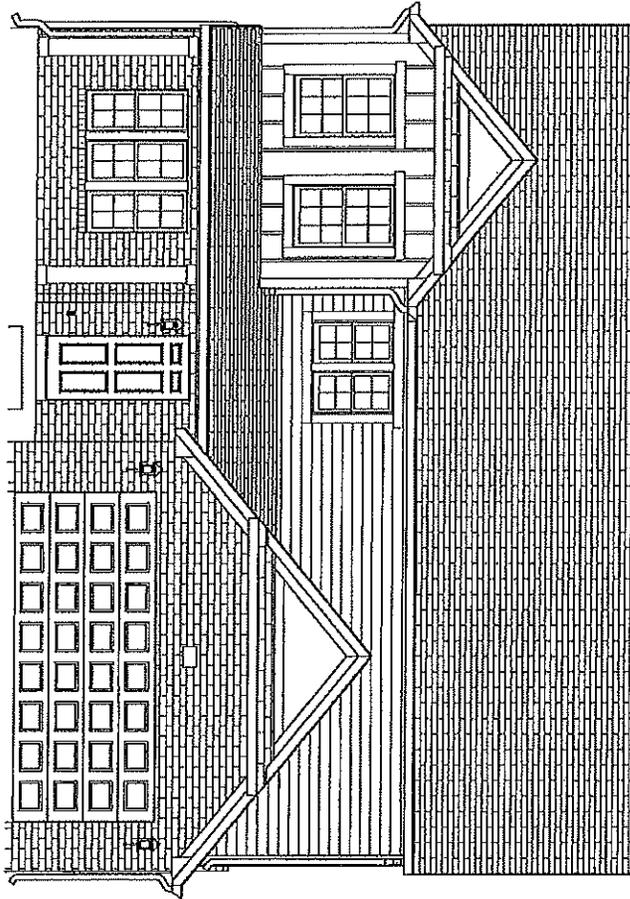
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A-01	T2200	PRINT DATE: 12/19/2015
	FOR: Allen Edwin Homes	
	LOT #:	
	LOCATION:	

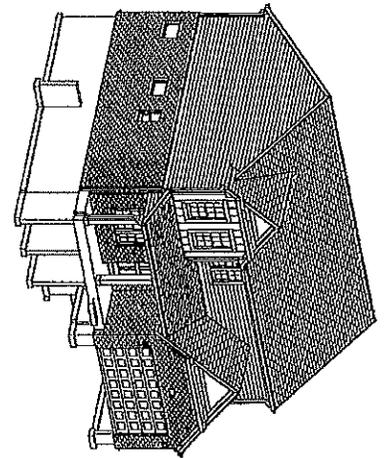
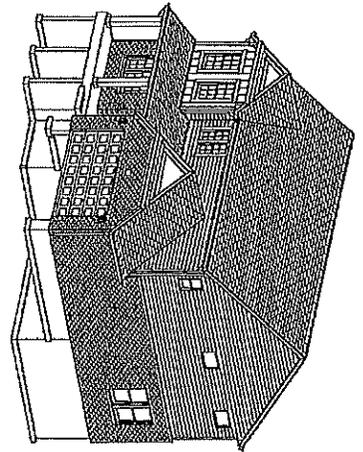
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ELEVATION C3	REV. NO.	DATE	REMARKS
GARAGE RIGHT			
REVISION	V7.06		



FRONT ELEVATION D3

SCALE: 1/4"=1'-0"



A-01

T2200

FOR: Allen Edwin Homes

LOT #:

LOCATION:

PRINT DATE: 12/09/2015

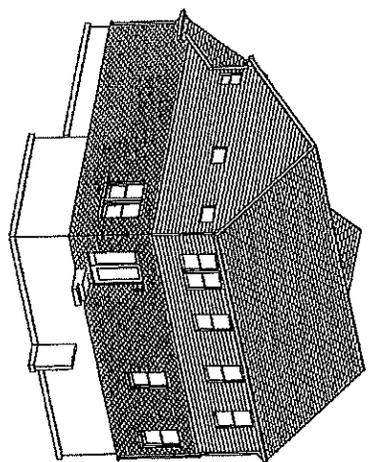
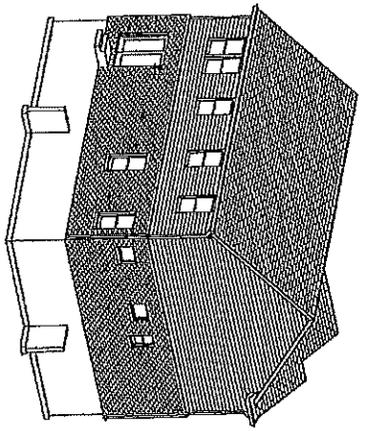
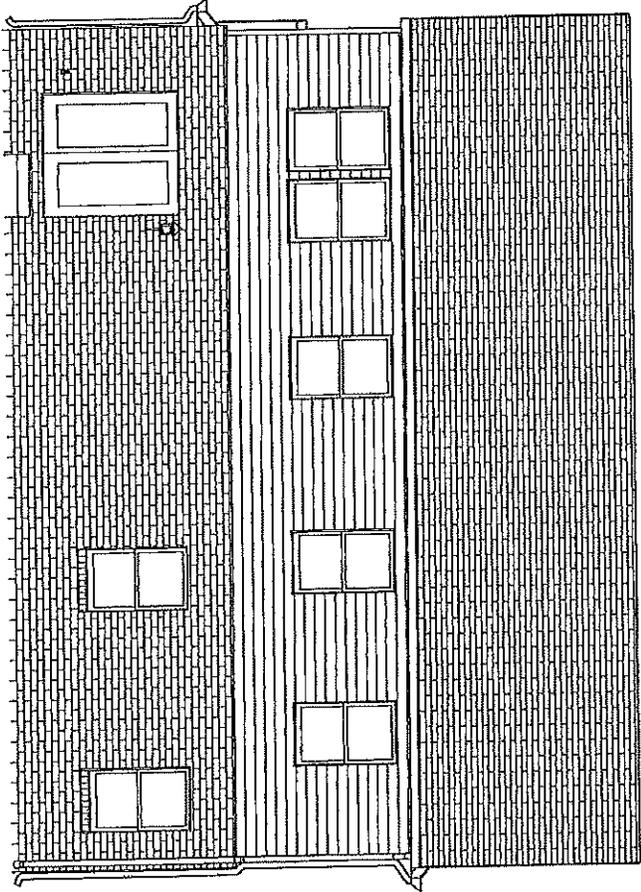
ALLEN EDWIN HOMES

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ELEVATION D3		REV. NO.	DATE	REMARKS
GARAGE RIGHT				
REVISION	VF.06			

REAR ELEVATION

SCALE 1/8"=1'-0"



T2200
 FOR: Allen Edwin Homes
 LOT #: _____
 LOCATION: _____

PRINT DATE: 12/09/2015

SHEET NUMBER: A-02

ALLEN EDWIN HOMES
 2188 E. Centre Street
 Portage, MI 49702
 (269) 321-2600
 www.alenedwin.com

ELEVATION A3		REV. NO.	DATE	REMARKS
GARAGE RIGHT				
REVISION	BY			

T2300

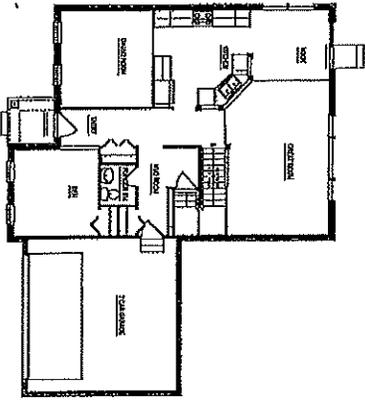
BUILDER:



2166 E. Centre Street, Portage, MI 49002
(269) 321-2600 www.allenedwin.com

It is the contractor's responsibility to verify all details and dimensions. All work shall be performed in accordance with all applicable national, state, and local codes and regulations. All dimensions are to rough frame of studs or to the outside of masonry. All footings to be below frost line and must rest on undisturbed soil capable of handling the building. All penetrations are to be sealed in accordance with state and local codes.

FIRST FLOOR PLAN LAYOUT



SECOND FLOOR PLAN LAYOUT

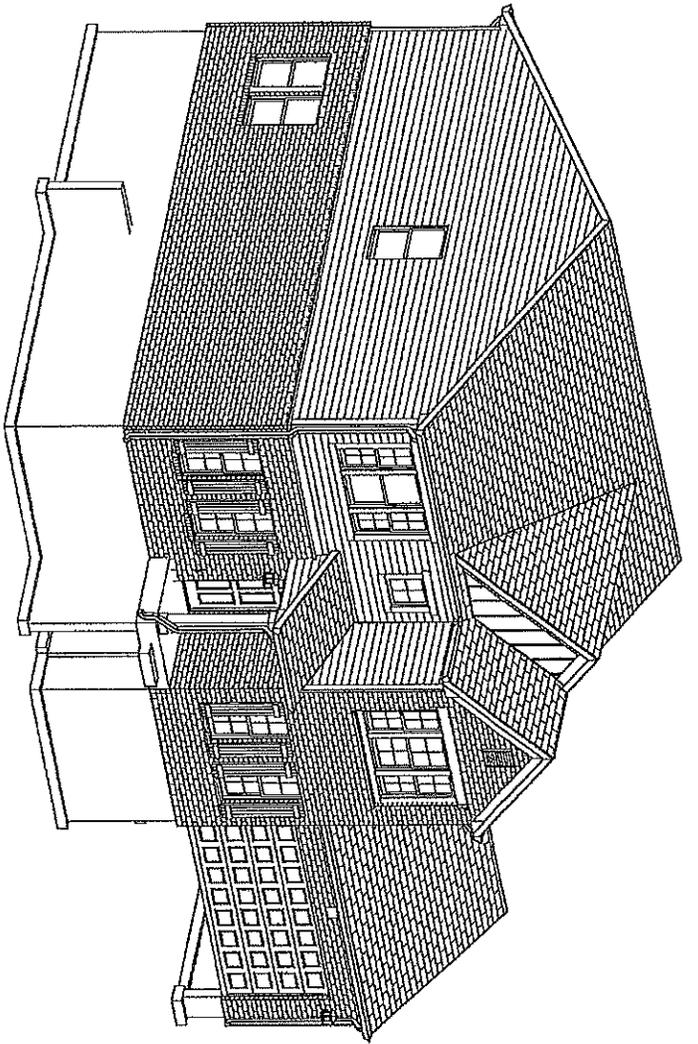
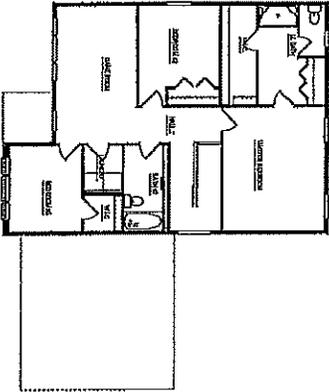


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A-06	BASEMENT PLAN
A-07	FIRST FLOOR PLAN
A-08	SECOND FLOOR PLAN
A-09	OPENINGS SCHEDULE AND KITCHEN LAYOUT
S-01	SECTIONS
S-02	SECTIONS
R-01	ROOF PLAN
E-01	BASEMENT ELECTRICAL PLAN
E-02	FIRST FLOOR ELECTRICAL PLAN
E-03	SECOND FLOOR ELECTRICAL PLAN

PROJECT INFORMATION

1st FLOOR (ABOVE GRADE)	1163	SQ. FT.
2nd FLOOR (ABOVE GRADE)	1163	SQ. FT.
FINISHED BASEMENT	0	SQ. FT.
TOTAL HEATED	2327	SQ. FT.
GARAGE	403	SQ. FT.
FRONT PORCH	41	SQ. FT.
BACK PORCH	0	SQ. FT.
UNFINISHED BASEMENT	1058	SQ. FT.

*FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS HOUSE WERE MADE BASED ON PLAN DIMENSIONS AND MAY VARY FROM THE FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT.

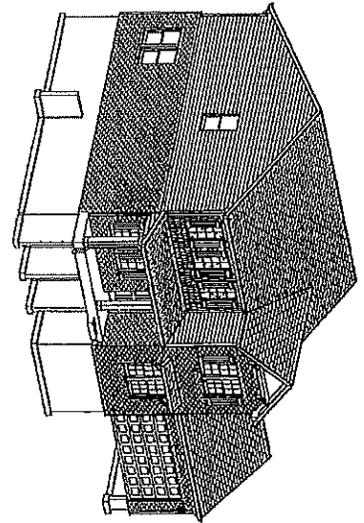
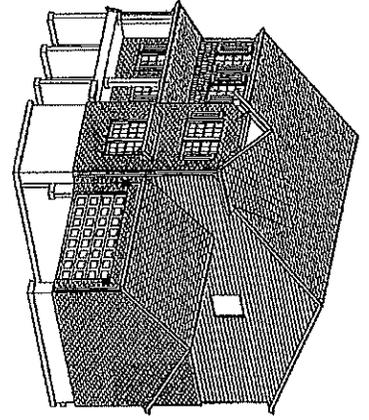
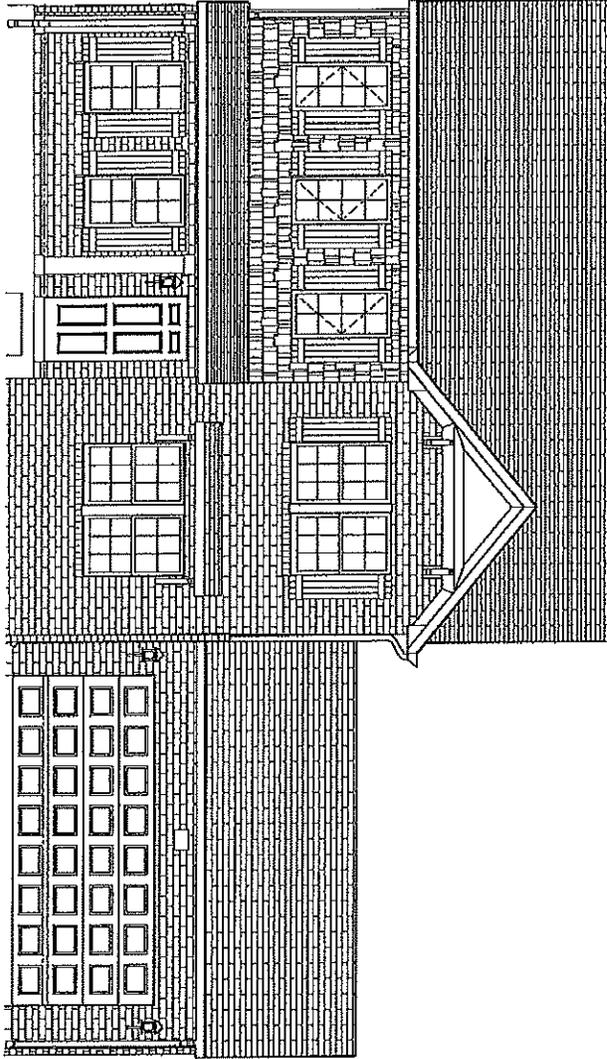
T2300
FOR: Allen Edwin Homes
LOT #: _____
LOCATION: _____
SHEET NUMBER: CS-01

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ELEVATION A3	REV. NO.	DATE	REMARKS
GARAGE RIGHT			
REVISION	V7.0a		

FRONT ELEVATION B3

SCALE: 1/8"=1'-0"



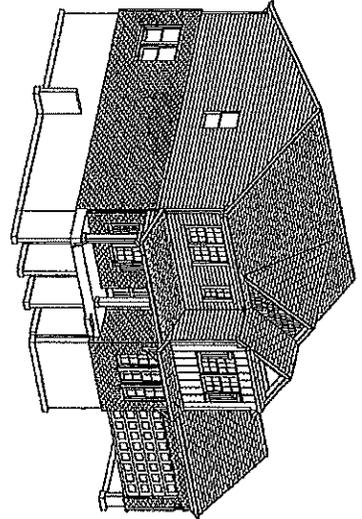
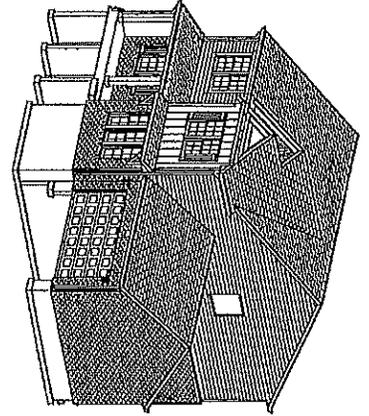
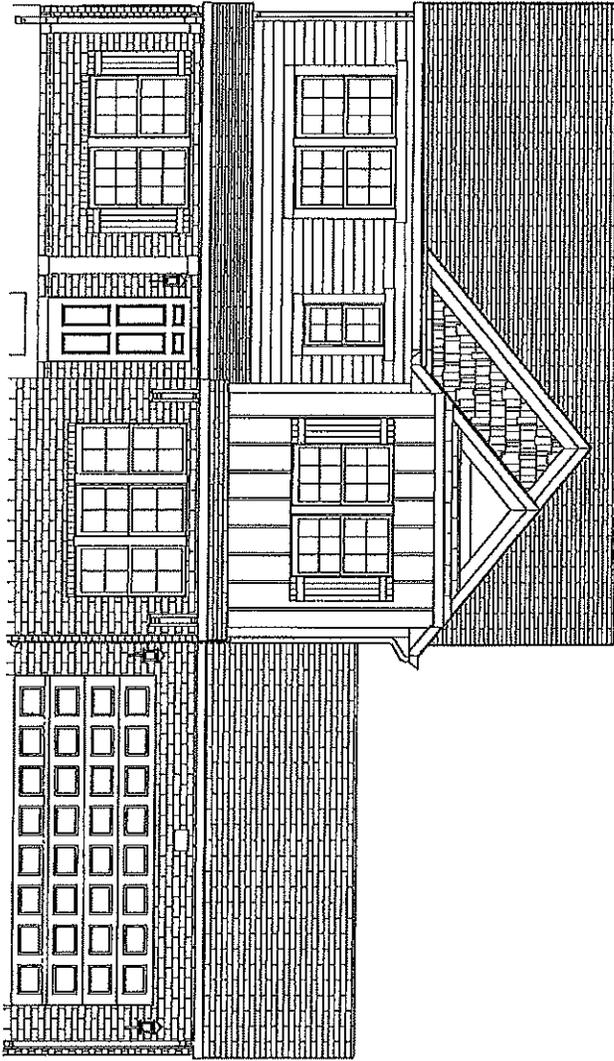
A-01	T2300	PRINT DATE 12/10/2013
	FOR: Allen Edwin Homes	
	LOT #:	
	LOCATION:	

ALLEN EDWIN HOMES
 2188 E. Centre Street
 Portage, MI 49002
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ELEVATION B3		REV. NO.	DATE	REMARKS
GARAGE RIGHT				
REVISION	VZ,02			

FRONT ELEVATION C3

SCALE: 1/8"=1'-0"



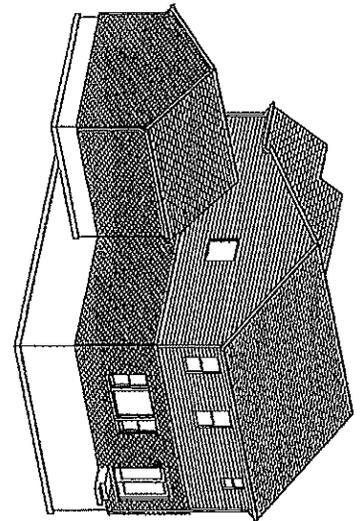
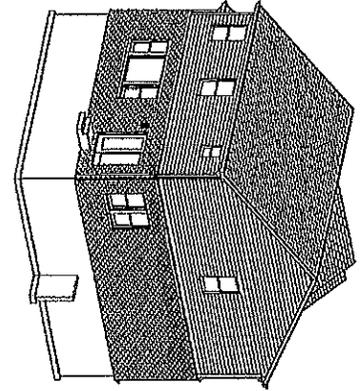
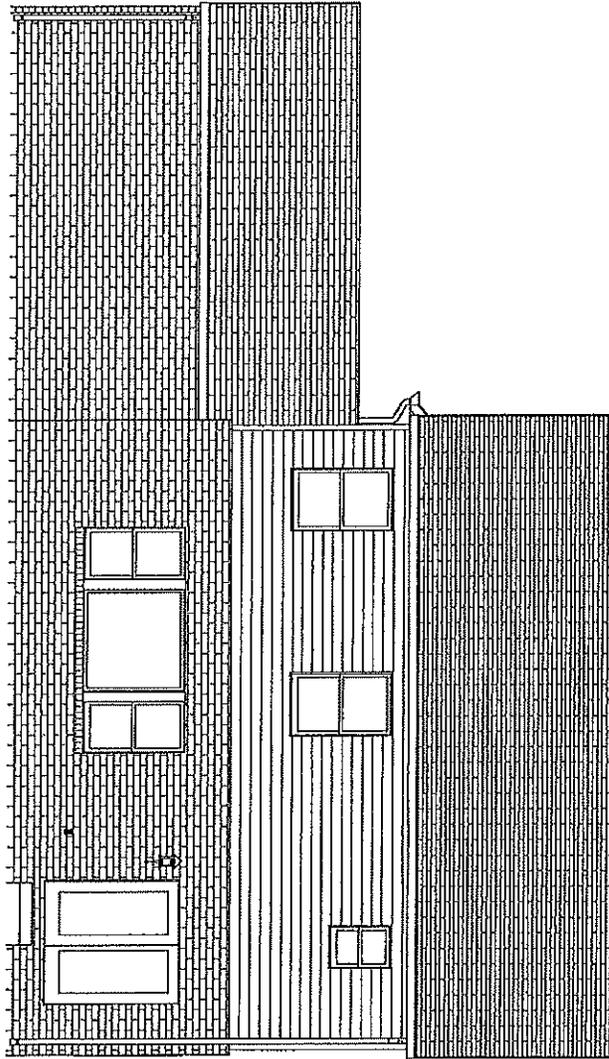
A-01	T2300	PRINT DATE: 12/10/2015
	FOR: Allen Edwin Homes	
	LOT #:	
	LOCATION:	

ALLEN EDWIN HOMES
 2108 E. Centre Street
 Portage, MI 49062
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ELEVATION C3		REV. NO.	DATE	REMARKS
GARAGE RIGHT				
REVISION	V7.0a			

REAR ELEVATION

SCALE 1/4"=1'-0"



A-02	T2300	PRINT DATE
	FOR:	12/10/2015
	Allen Edwin Homes	
	LOT #:	
LOCATION:		

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ELEVATION A3	REV. NO.	DATE	REMARKS
GARAGE RIGHT			
REVISION	V7.0a		

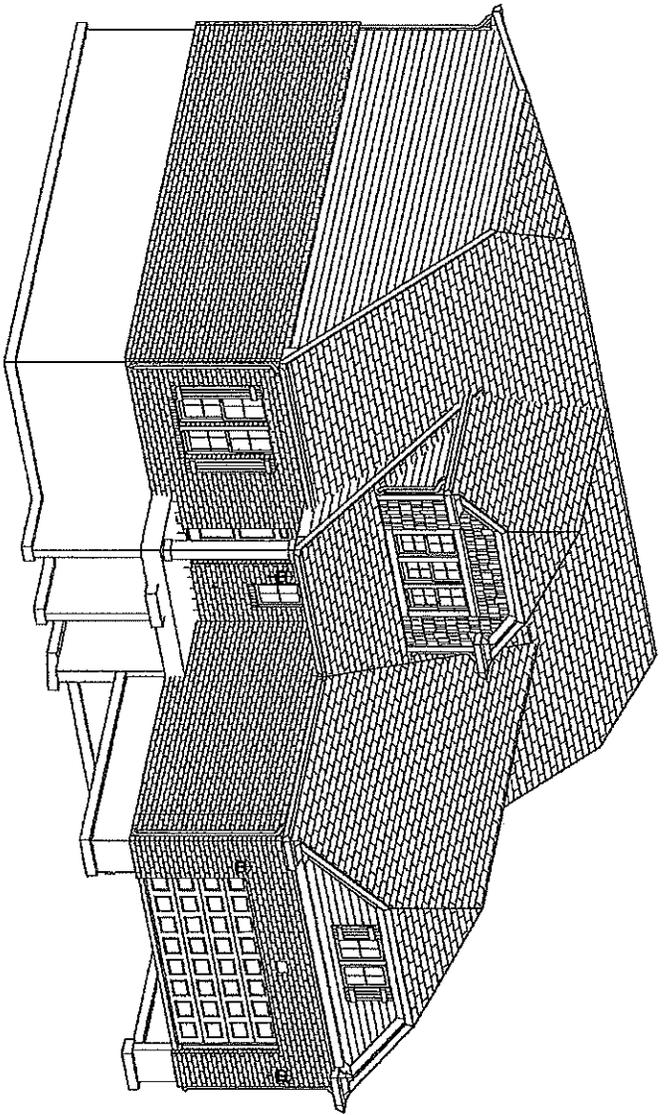
T2330



2186 E. Centre Street Portage, MI 49002
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It is the contractor's responsibility to verify all details and dimensions.
All work shall be performed in accordance with all applicable national, state, and local codes and regulations.
All dimensions are to rough frame of studs or to the outside of masonry.
If loadings to be below frost line and must rest on undisturbed soil capable of handling the building.
All penetrations are to be sealed in accordance with state and local codes.

BUILDER:



SECOND FLOOR PLAN LAYOUT

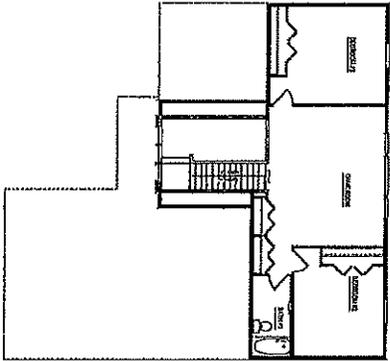
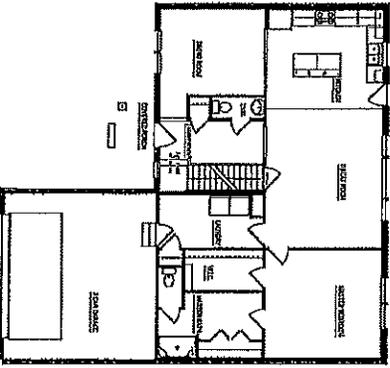


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A-08	SECOND FLOOR PLAN
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S-01	SECTIONS
R-01	ROOF PLAN
E-01	BASEMENT ELECTRICAL PLAN
E-02	FIRST FLOOR ELECTRICAL PLAN
E-03	SECOND FLOOR ELECTRICAL PLAN

PROJECT INFORMATION

1st. FLOOR (ABOVE GRADE)	1391	SQ.FT.
2nd. FLOOR (ABOVE GRADE)	929	SQ.FT.
FINISHED BASEMENT	0	SQ.FT.
TOTAL HEATED	2320	SQ.FT.
GARAGE	444	SQ.FT.
FRONT PORCH	63	SQ.FT.
BACK PORCH	0	SQ.FT.
UNFINISHED BASEMENT	1395	SQ.FT.

FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS HOUSE WERE MADE BASED ON PLANNING DIMENSIONS AND NOT ON THE FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT.

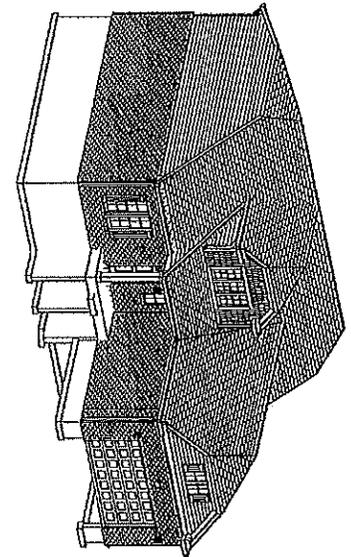
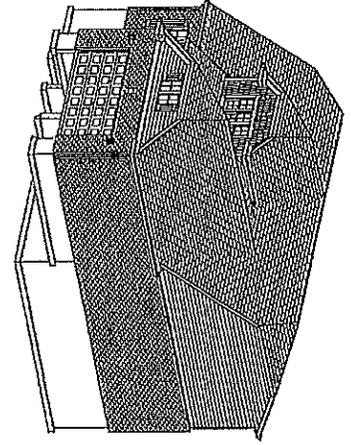
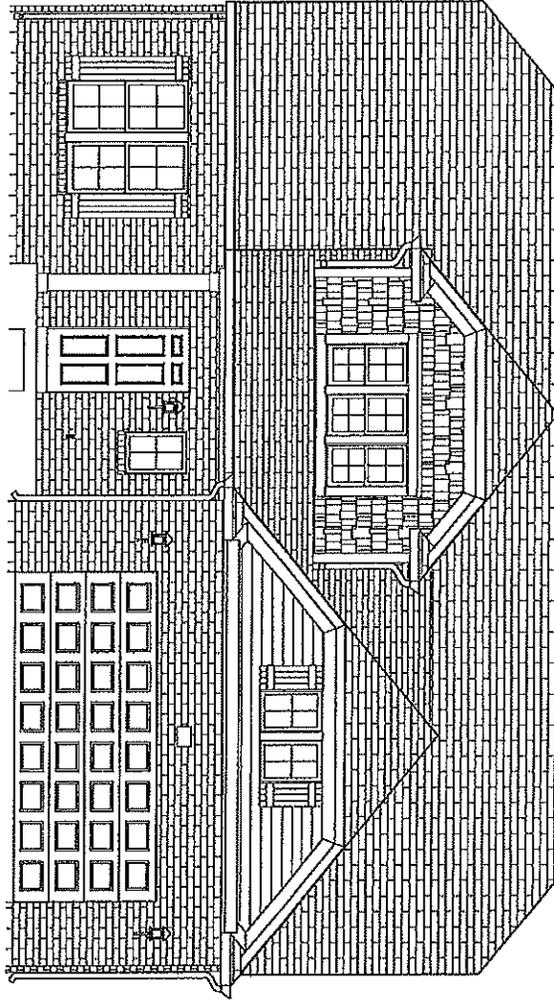
ELEVATION A3	REV. NO.	DATE	REMARKS
GARAGE RIGHT			
REVISION	07.05		

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T2330
FOR: Allen Edwin Homes
LOT #: _____
LOCATION: _____
PRINT DATE: 12/10/2015
SHEET NUMBER: CS-01

FRONT ELEVATION A3

SCALE: 1/8"=1'-0"



T2330

FOR:
Allen Edwin Homes
LOT #:
LOCATION:

FRONT ELEVATION
12/10/2015



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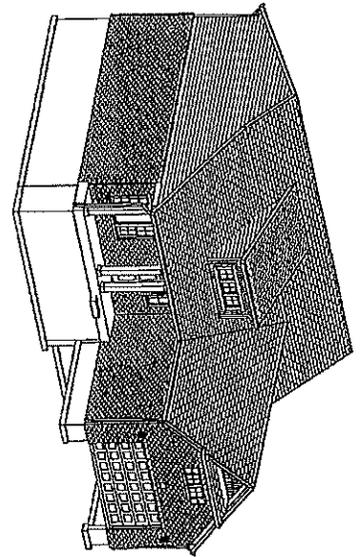
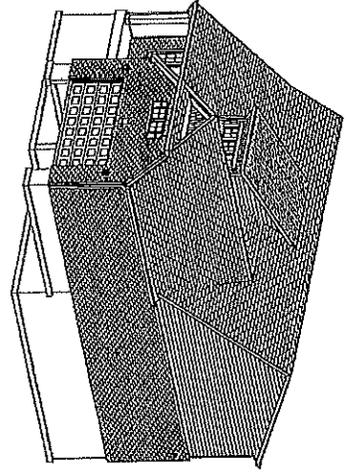
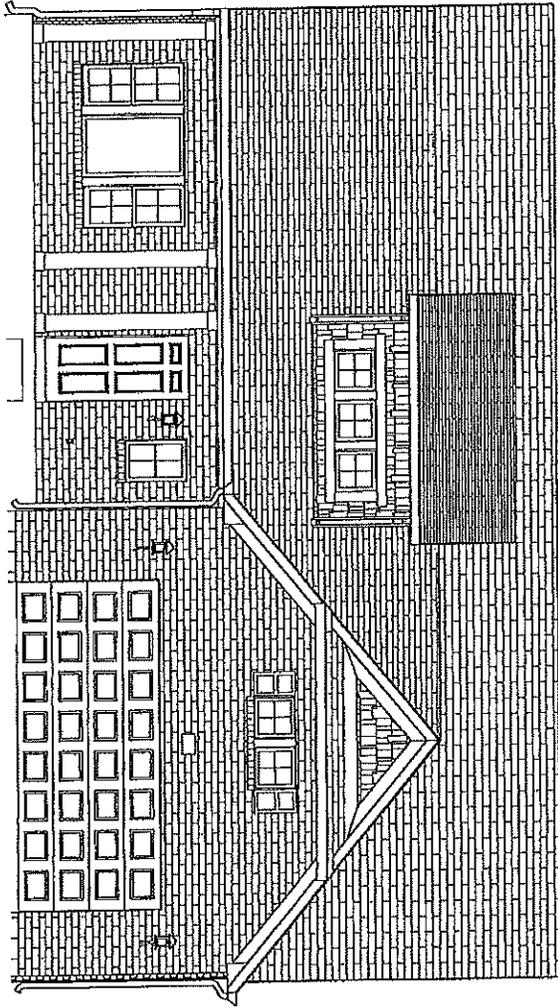
ELEVATION A3

GARAGE RIGHT
REVISION V7.00

REV. NO.	DATE	REMARKS

FRONT ELEVATION B3

SCALE: 1/4"=1'-0"



T2330

FOR:
Allen Edwin Homes
LDF #:
LOCATION:

PRINT DATE:
12/10/2015



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ELEVATION B3
GARAGE RIGHT

REVISION V7.05

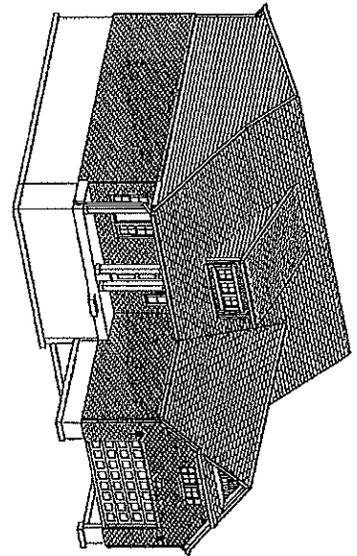
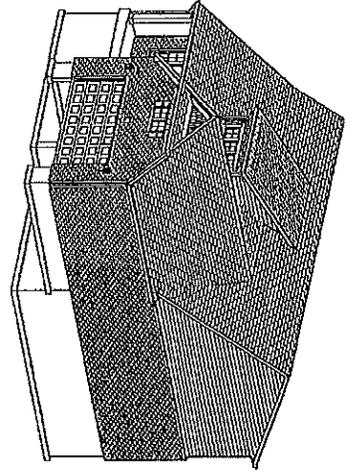
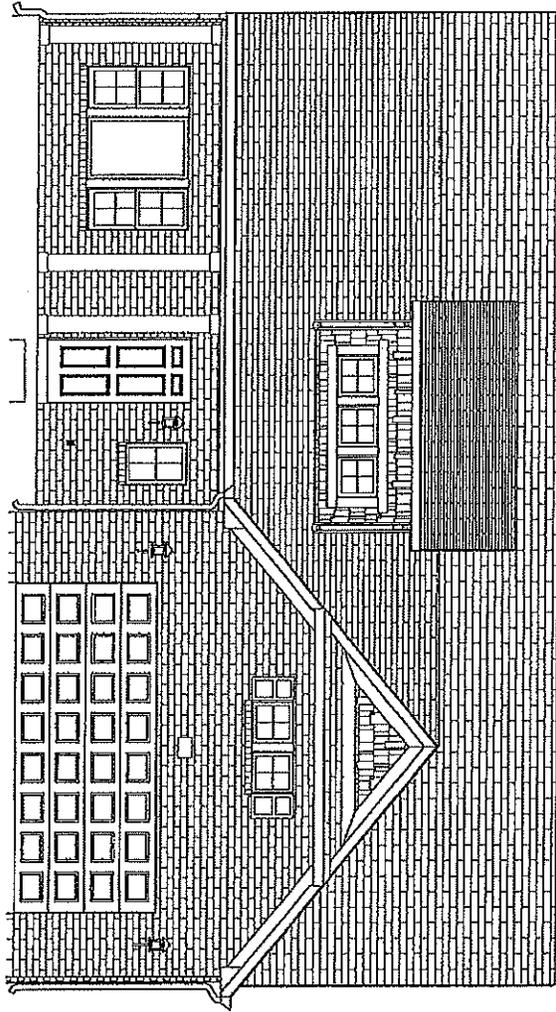
REV. NO. DATE

REMARKS

REV. NO.	DATE	REMARKS

FRONT ELEVATION C3

SCALE 1/4"=1'-0"



T2330

FOR:
Allen Edwin Homes
LOT #:
LOCATION:

PRINT DATE:
12/10/2015



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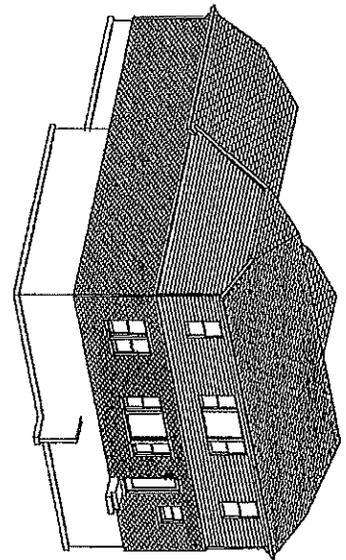
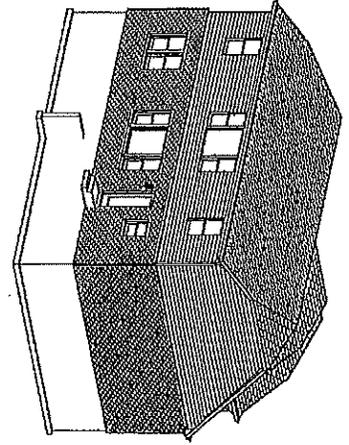
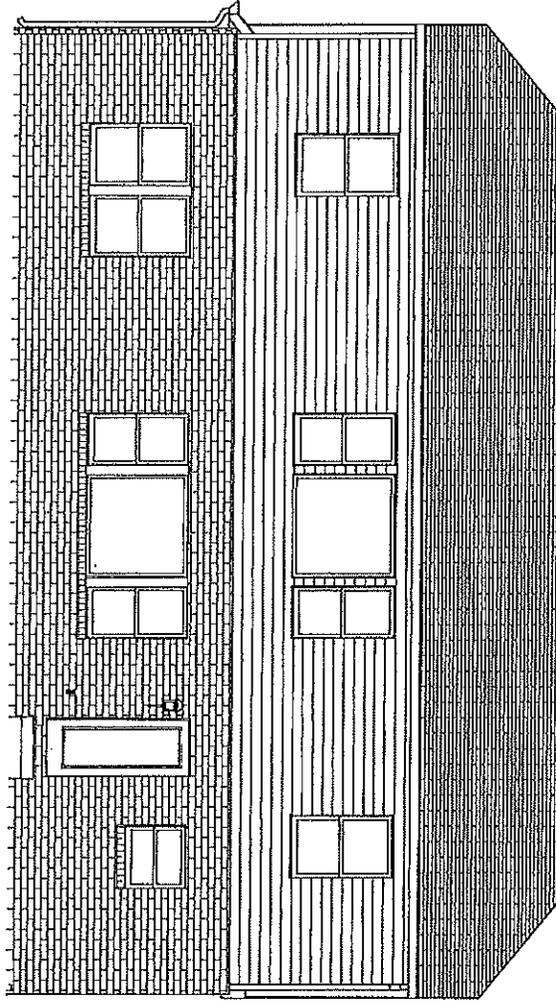
ELEVATION C3

GARAGE RIGHT
REVISION V7.00

REV. NO.	DATE	REMARKS

REAR ELEVATION

SCALE 1/4"=1'-0"



T2330

FOR:
Allen Edwin Homes
LOT #:
LOCATION:

SHEET NUMBER

PRINT DATE:
12/10/2015



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ELEVATION A3

GARAGE RIGHT

REVISION V7.0b

REV. NO.	DATE	REMARKS

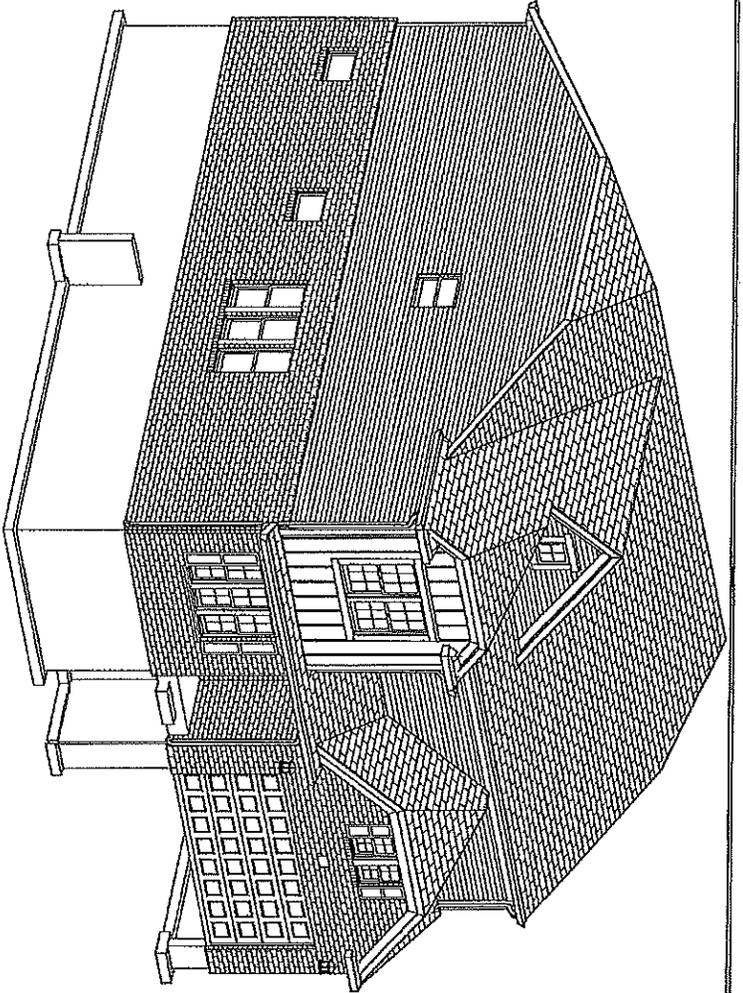
T3100



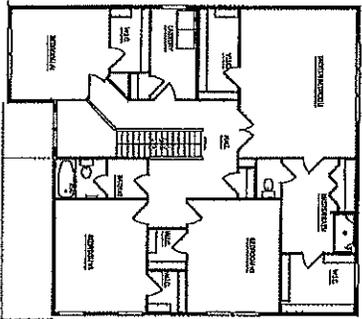
2186 E. Centre Street Portage, MI 49002
 (269) 321-2800 www.allenedwin.com

BUILDER:

It is the contractor's responsibility to verify all details and dimensions. All work shall be performed in accordance with all applicable national, state, and local codes and regulations. All dimensions are to rough frame of studs or to the outside of masonry. All footings to be below frost line and must rest on undisturbed soil capable of handling the building. All penetrations are to be sealed in accordance with state and local codes.



SECOND FLOOR PLAN LAYOUT



FIRST FLOOR PLAN LAYOUT

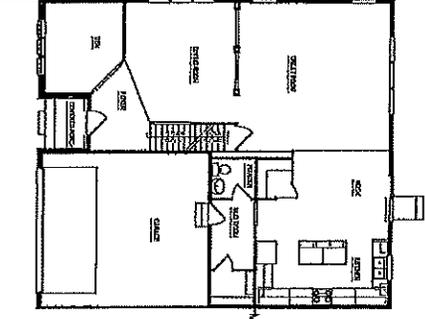


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E-01	BASEMENT ELECTRICAL PLAN
E-02	FIRST FLOOR ELECTRICAL PLAN
E-03	SECOND FLOOR ELECTRICAL PLAN

PROJECT INFORMATION

1st. FLOOR (ABOVE GRADE)	1366	SQ.FT.
2nd. FLOOR (ABOVE GRADE)	1688	SQ.FT.
FINISHED BASEMENT	0	SQ.FT.
TOTAL HEATED	3054	SQ.FT.
GARAGE	446	SQ.FT.
FRONT PORCH	39	SQ.FT.
BACK PORCH	0	SQ.FT.
UNFINISHED BASEMENT	1256	SQ.FT.

FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS HOUSE
 UNFINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS HOUSE
 THE FINISHED SQUARE FOOTAGE OF THE HOUSE AS SHOWN

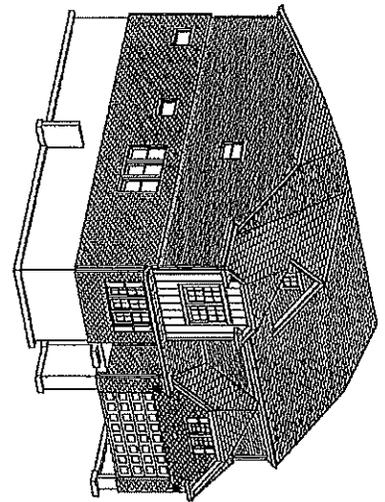
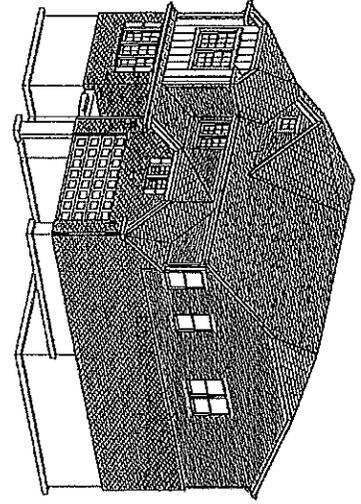
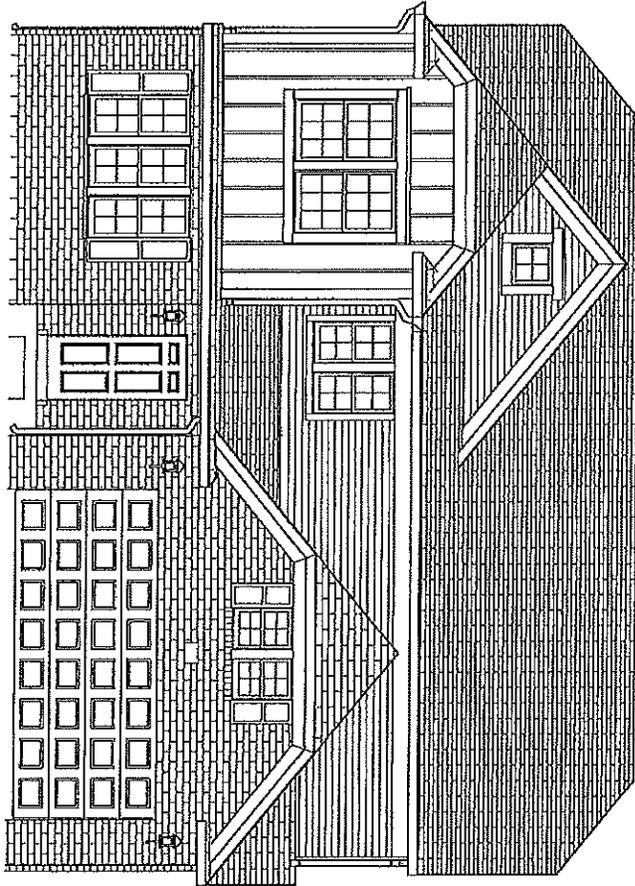
ELEVATION A3	REV. NO.	DATE	REMARKS
GARAGE RIGHT			
REVISION	V7.00		

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T3100
 FROM: Allen Edwin Homes
 LOT #:
 LOCATION:
 SHEET NUMBER: CS-01
 PRINT DATE: 01/23/2017

FRONT ELEVATION A3

SCALE: 1/4"=1'-0"



A-01	T3100	PRINT DATE: 01/29/2017
	FOR: Allen Edwin Homes	
	LOT #:	
	LOCATION:	

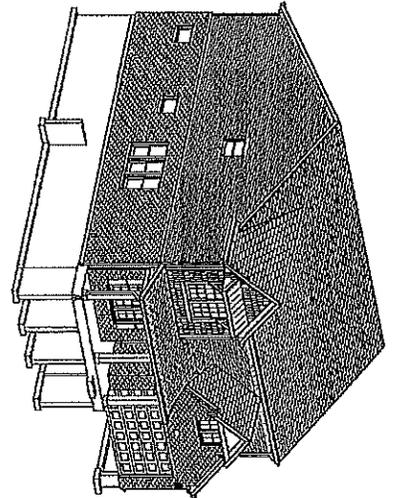
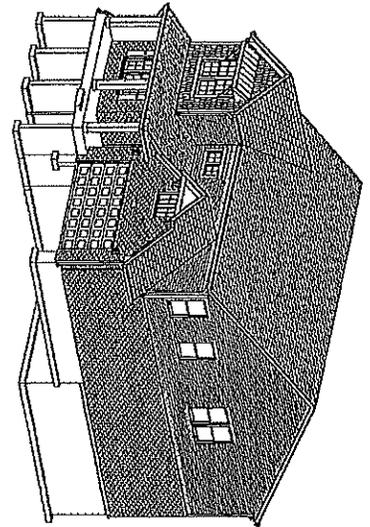
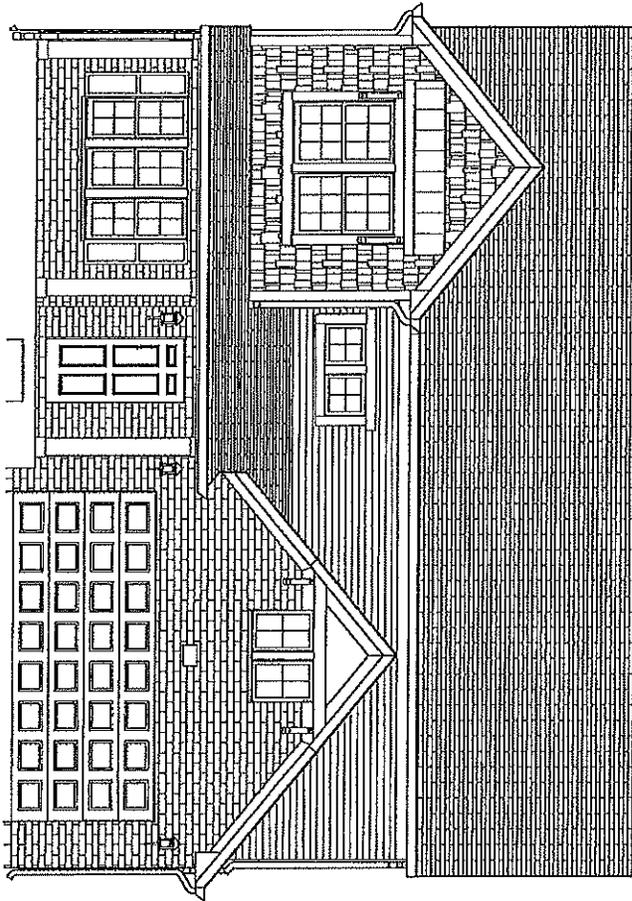
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ELEVATION A3	REV. NO.	DATE	REMARKS
GARAGE RIGHT			
REVISION	V7.06		

FRONT ELEVATION B3

SCALE 1/8"=1'-0"



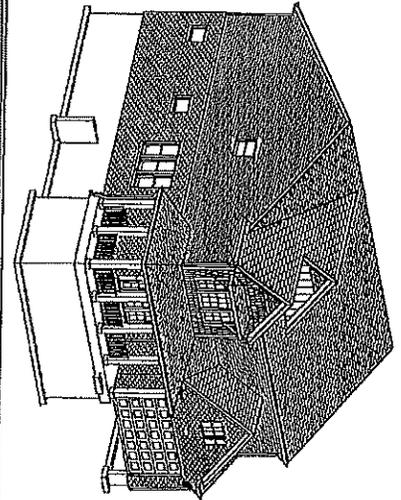
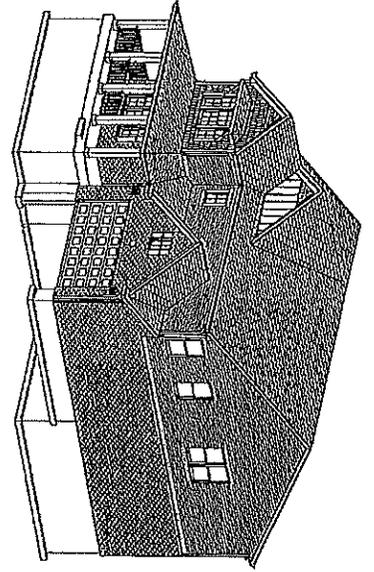
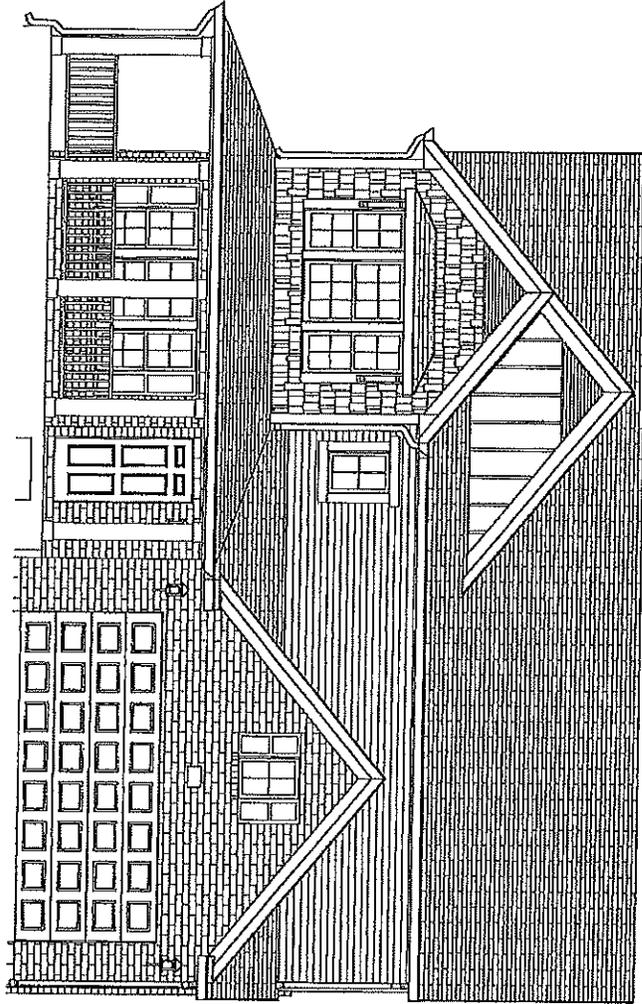
A-01	T3100	PRINT DATE: 01/29/2017
	FOR: Allen Edwin Homes	
	LOT #:	
	LOCATION:	

ALLEN EDWIN HOMES
 2188 E. Condo Street
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ELEVATION B3		REV. NO.	DATE	REMARKS
GARAGE RIGHT				
REVISION	BY/DS			

FRONT ELEVATION C3

SCALE: 1/8"=1'-0"

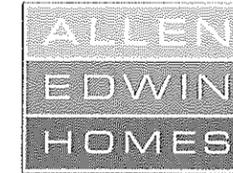


A-01	T3100	PAPER DATES 01/23/2017
	FDR:	
	Allen Edwin Homes	
	LOT #:	
LOCATION:		

ALLEN EDWIN HOMES

2188 E. Centre Street
Portage, MI 49002
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ELEVATION C3	REV. NO.	DATE	REMARKS
GARAGE RIGHT			
REVISION	V7.0a		



We value what you value.

COUNTRY WALK 3 AND COUNTRY WALK 4

Elevation Portfolio

July 14, 2017

RECEIVED

JUL 18 2017

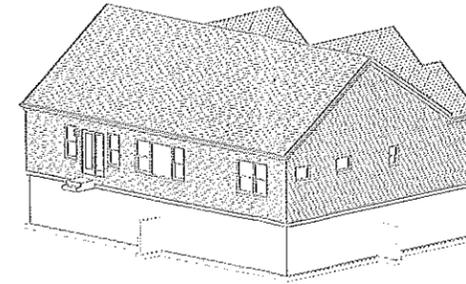
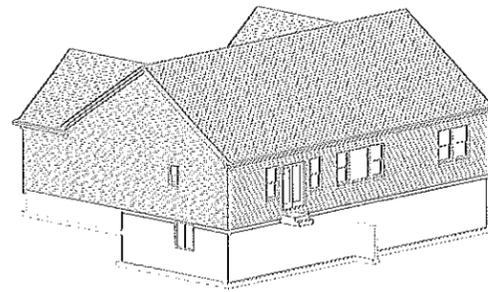
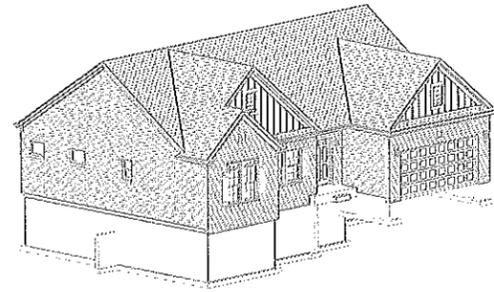
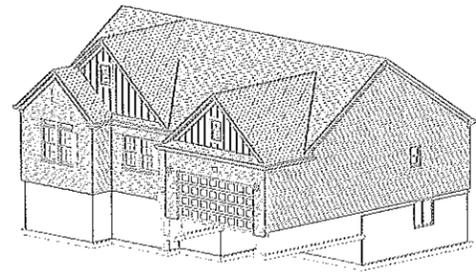
BY: _____

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Country Walk 3 and Country Walk 4

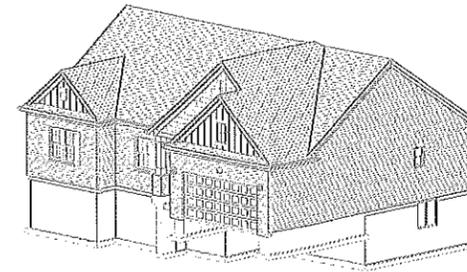
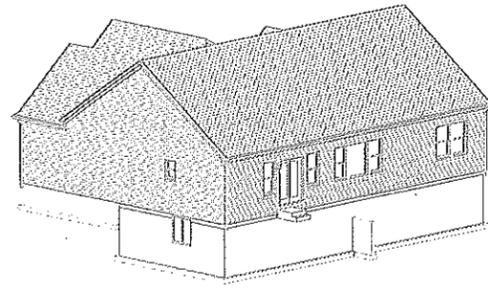
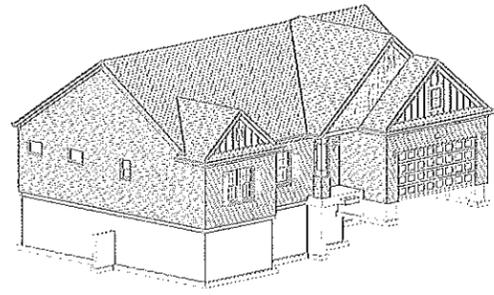
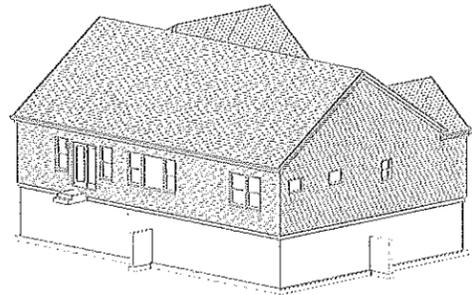
July 14, 2017

1. Traditions 1600 - Contains three front elevations
2. Traditions 2200 - Contains three front elevations
3. Traditions 2300 - Contains three front elevations
4. Traditions 2330 - Contains three front elevations
5. Traditions 3100 - Contains three front elevations



FRONT ELEVATION A3

SCALE 1/4"=1'-0"



FRONT ELEVATION B3

SCALE: 1/4"=1'-0"

ms/A-01_01.rvt

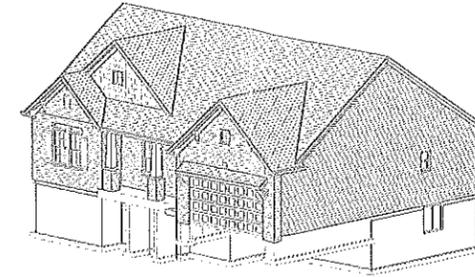
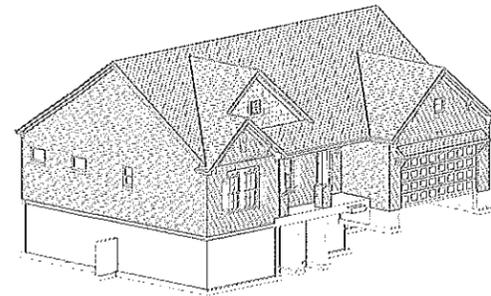
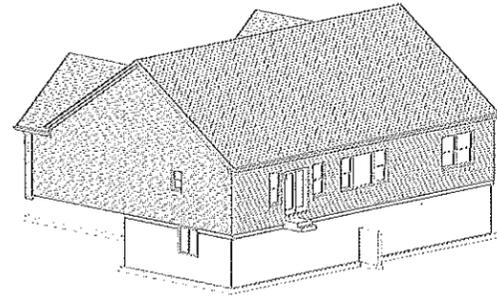
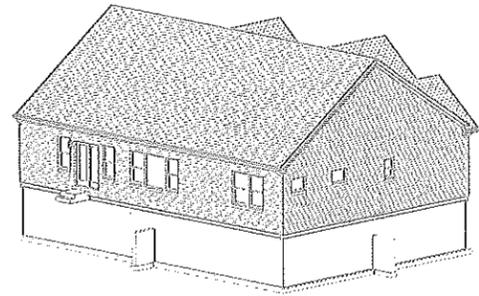
REV. NO.	DATE	REMARKS
T1600		
GARAGE RIGHT		
REVISION	V7.0b	

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07/06/2017

T1600
 FOR: Allen Edwin Homes
 LOT F:
 LOCATION:

SHEET NUMBER
 A-01.01



FRONT ELEVATION C3

SCALE: 1/4"=1'-0"

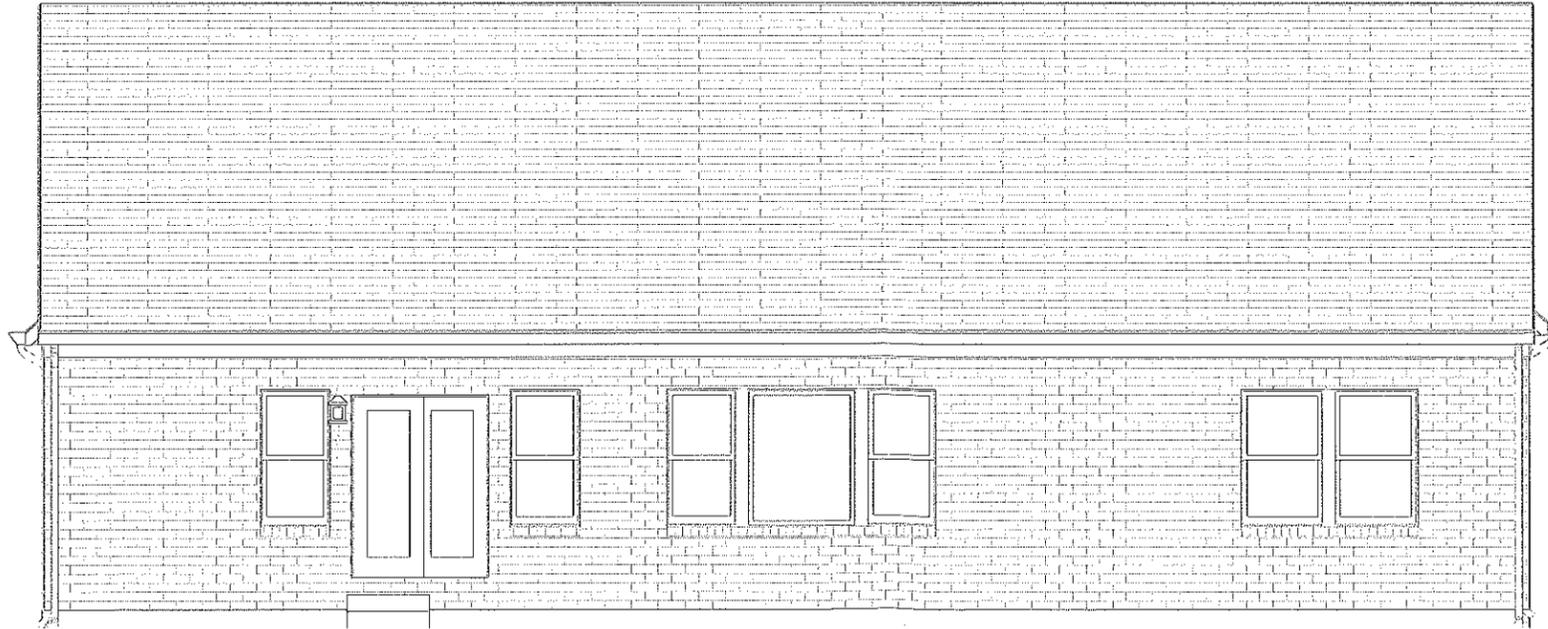
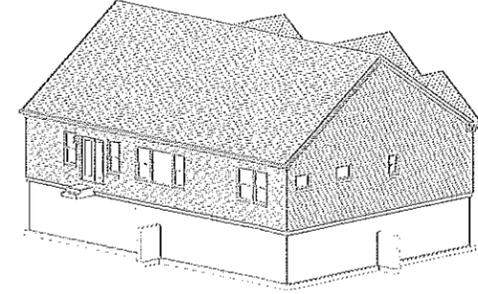
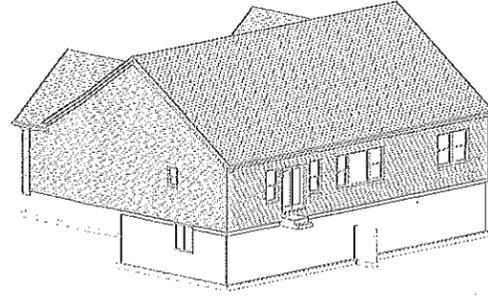
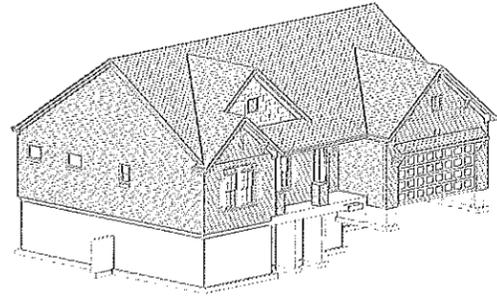
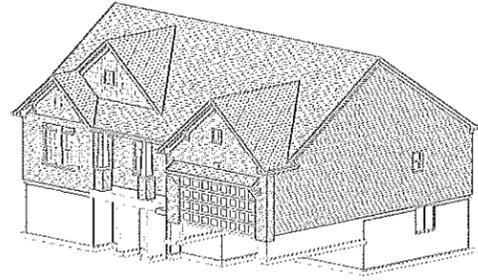
ems/a-01_02.vxp

REV. NO.	DATE	REMARKS
T1600		
GARAGE RIGHT		
REVISION	V7.0b	

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 A-01.02

PRINT DATE:
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REAR ELEVATION C3

SCALE: 1/4"=1'-0"

ms/A-04.02.rvt

REV. NO.	DATE	REMARKS
T-1600		
GARAGE RIGHT		
REVISION	V7.05	

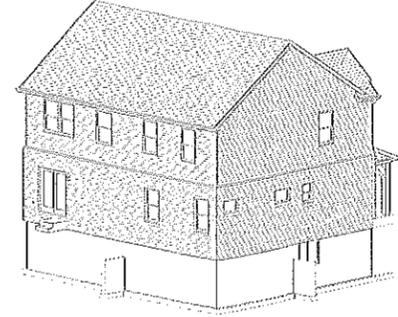
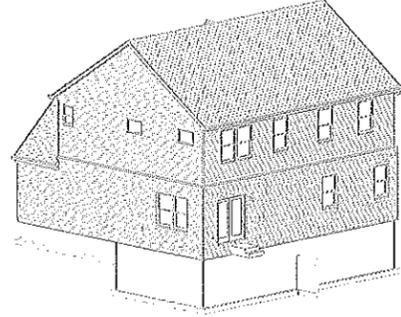
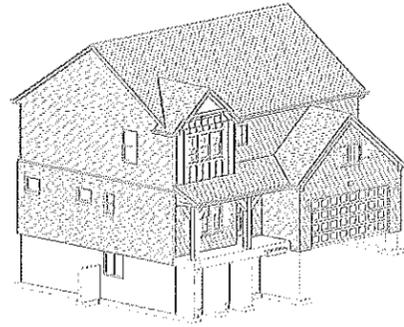
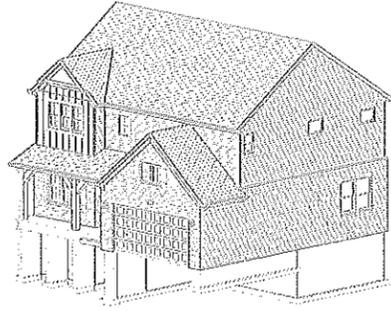
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T1600
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 SHEET NUMBER
 LOT #: LOCATION:

A-04.02



FRONT ELEVATION B3

SCALE: 1/4"=1'-0"

ms-A-01.05.vsp

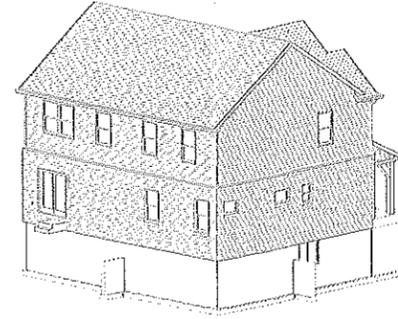
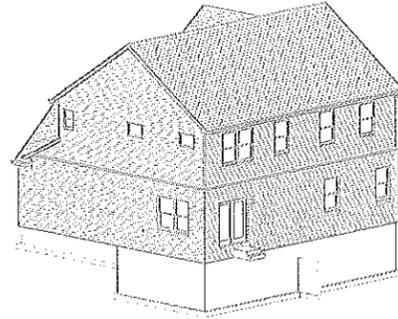
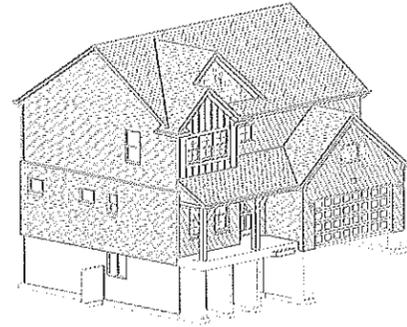
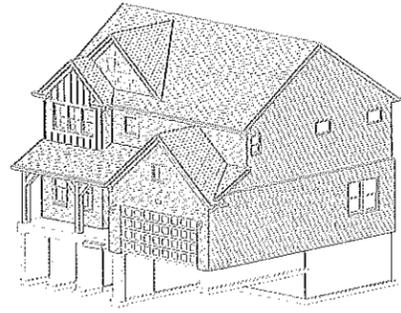
REV. NO.	DATE	REMARKS
T2200		GARAGE RIGHT
		REVISION V8 OR

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T2200
 FOR:
Allen Edwin Homes
 SHEET NUMBER
 LOT #:
 LOCATION:

A-01.05



FRONT ELEVATION C3

SCALE: 1/4"=1'-0"

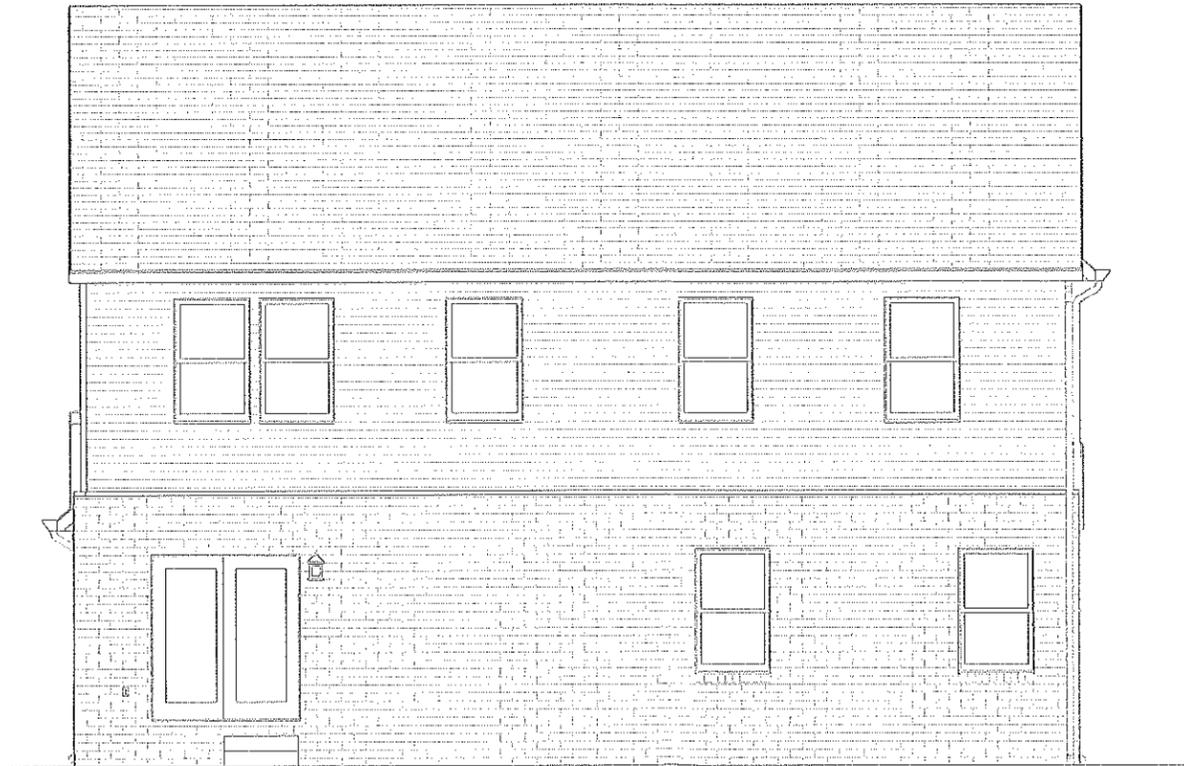
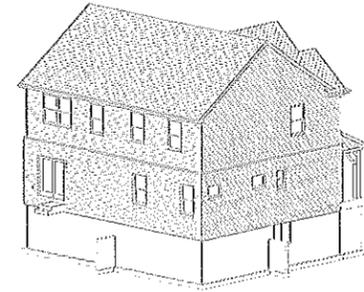
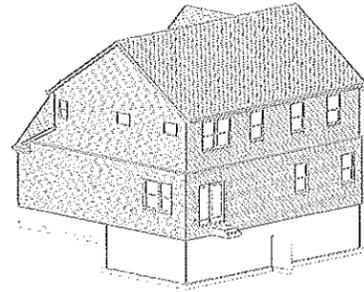
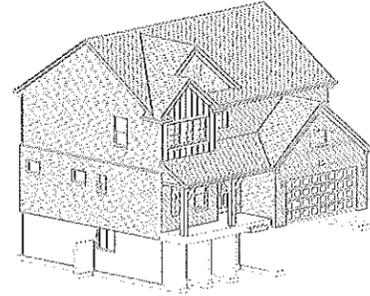
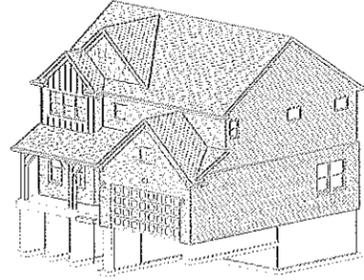
ms-a-01-08.vxp

REV. NO.	DATE	REMARKS
T2200		GARAGE RIGHT REVISION VS. 0.8

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07/05/2017

T2200
 FOR: Allen Edwin Homes
 SHEET NUMBER: A-01.08



REAR ELEVATION C3

SCALE: 1/4"=1'-0"

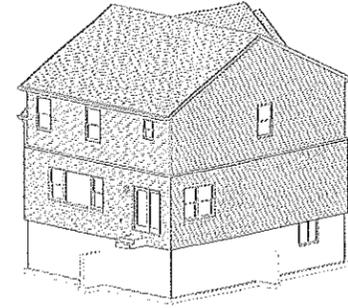
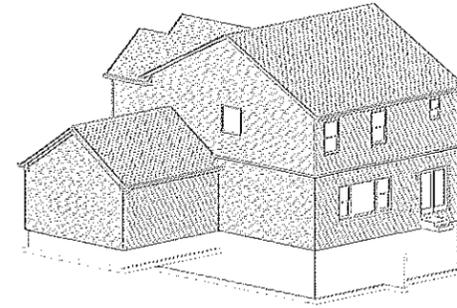
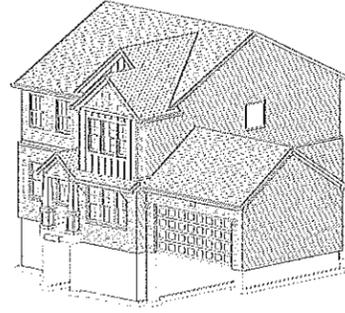
185/A-04.02.MXD

REVISION		REV. NO.	DATE
T2200			
GARAGE RIGHT			
REVISION		1/3	04

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 SHEET NUMBER
 A-04.02



FRONT ELEVATION A3

SCALE: 1/4"=1'-0"

msA-01.02.vxd

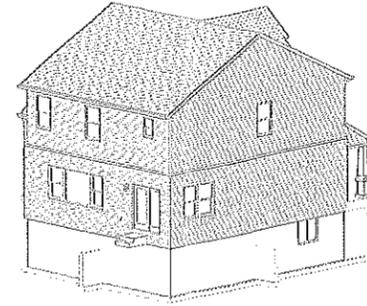
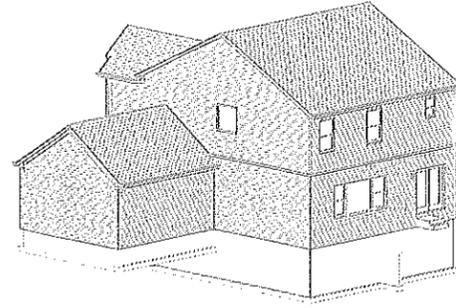
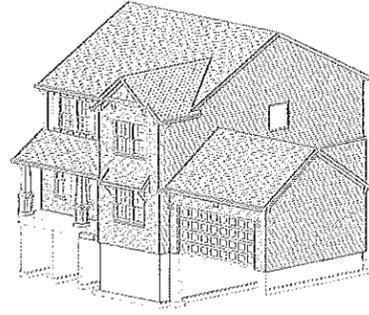
REV. NO.	DATE	REMARKS
T2300		GARAGE RIGHT REVISION V8 0a

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07/06/2017

T2300
 FOR:
Allen Edwin Homes
 LOT #:
 LOCATION:

SHEET NUMBER
A-01.02



FRONT ELEVATION B3

SCALE: 1/4"=1'-0"

MS-A-01_05.kwp

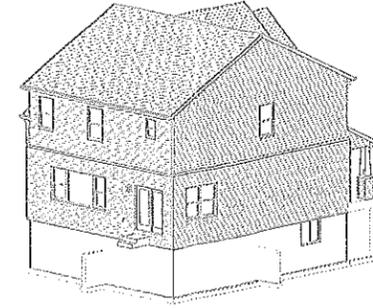
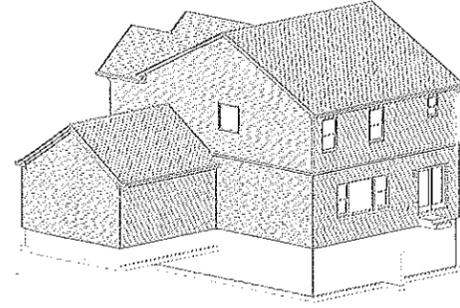
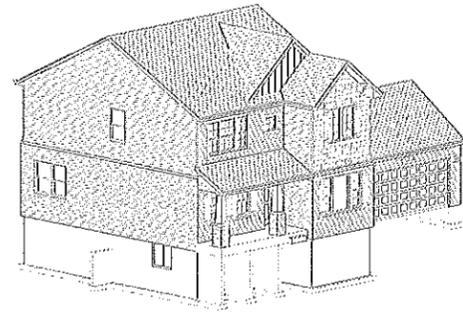
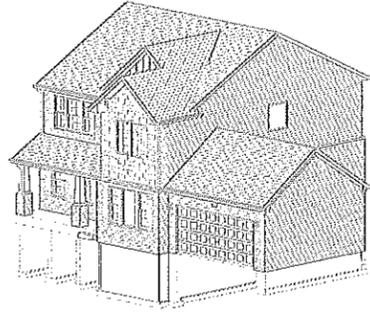
REV. NO.	DATE	REMARKS
T2300		
GARAGE RIGHT		
REVISION	Vs. 01	

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 SHEET NUMBER: A-01.05

LOT #:
 LOCATION:



FRONT ELEVATION C3

SCALE 1/4"=1'-0"

ms-A-01_08.dwg

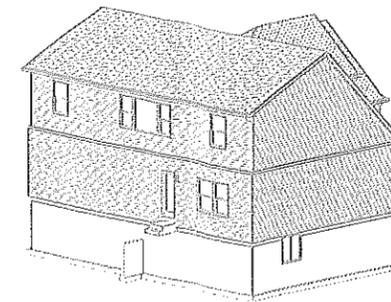
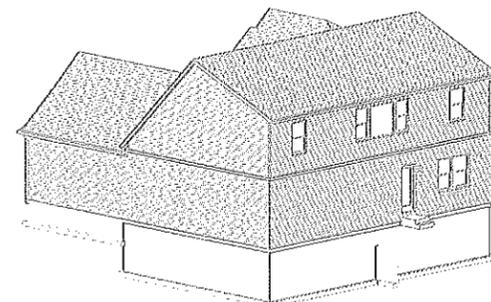
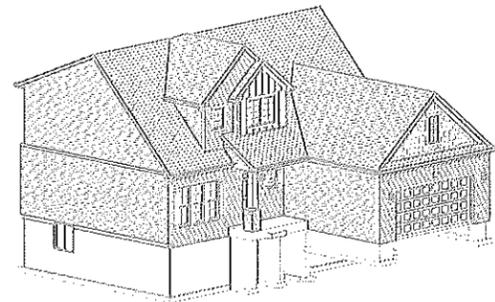
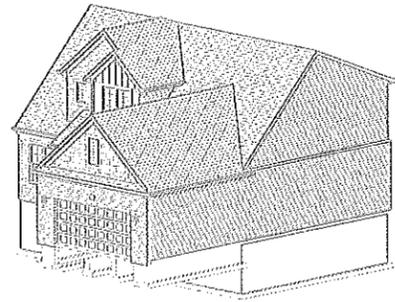
REV. NO.	DATE	REMARKS
T2300		
		GARAGE RIGHT
		REVISION V6.03

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07/06/2017

T2300
 FOR:
Allen Edwin Homes
 LOT #:
 LOCATION:

SHEET NUMBER
A-01.08



FRONT ELEVATION A3

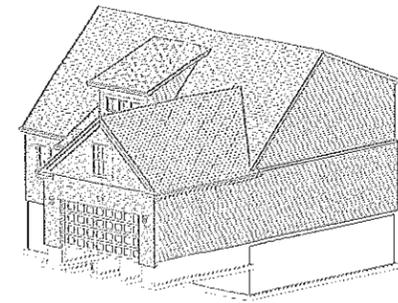
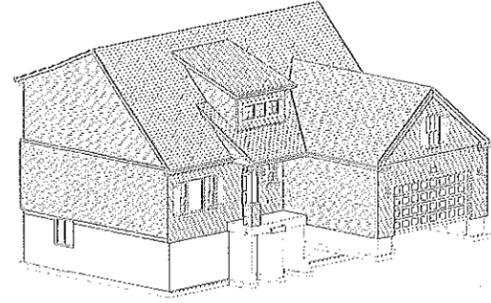
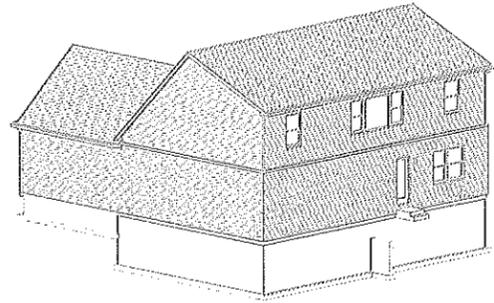
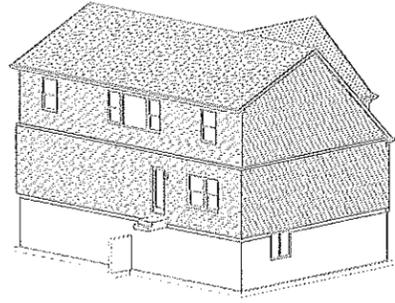
SCALE: 1/4"=1'-0"

REV. NO.	DATE	REVISION
T2330		GARAGE RIGHT
		V7.00

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T2330
 FOR: Allen Edwin Homes
 SHEET NUMBER: A-01.00
 LOT #:
 LOCATION:
 PRINT DATE: 07/06/2017



FRONT ELEVATION B3

SCALE: 1/4"=1'-0"

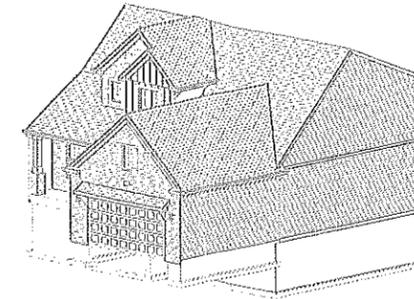
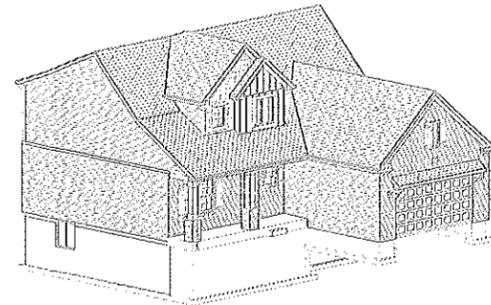
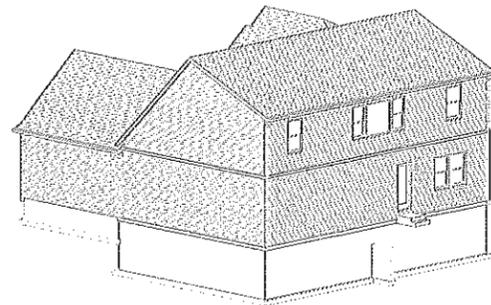
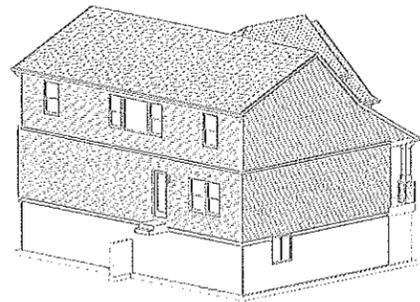
ms-a-02.00.rvt

REV. NO.	DATE	REMARKS
T2330		
GARAGE RIGHT		
REVISION	V7.06	

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T2330	PRINT DATE: 07/06/2017
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LOT #:	
LOCATION:	
SHEET NUMBER	
A-02.00	



FRONT ELEVATION C3

SCALE: 1/4"=1'-0"

REMARKS

REV. NO. | DATE

T2330

GARAGE RIGHT
REVISION: V7.0b

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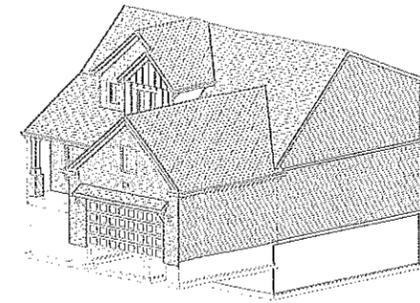
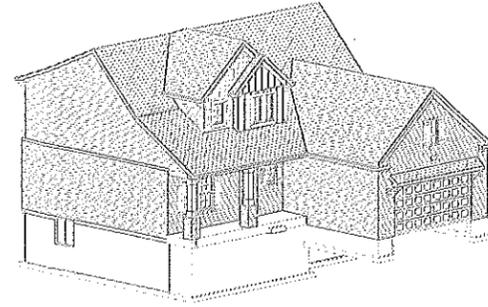
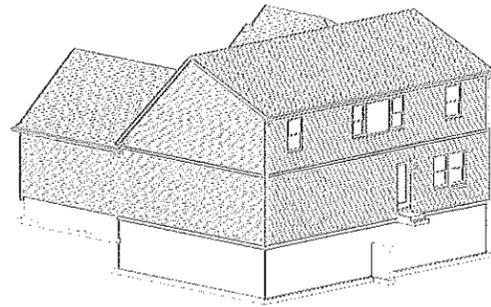
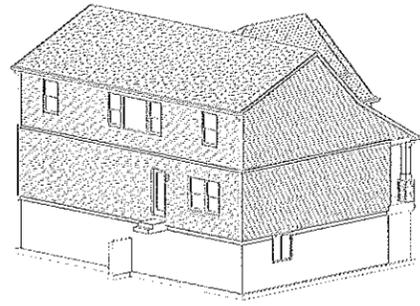


PRINT DATE:
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T2330
FOR:
Allen Edwin Homes
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LOCATION:

SHEET NUMBER

A-03.00



REAR ELEVATION C3

SCALE: 1/4"=1'-0"

REMARKS

REV NO. DATE

T2330

GARAGE RIGHT

REVISION V7.0b

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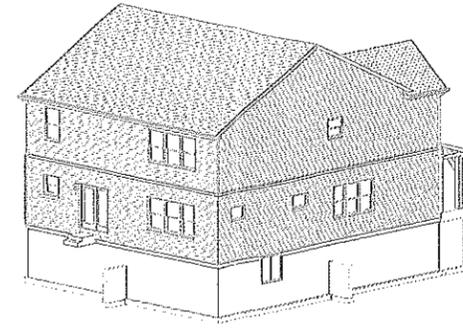
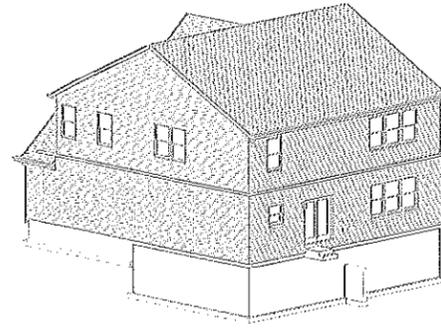
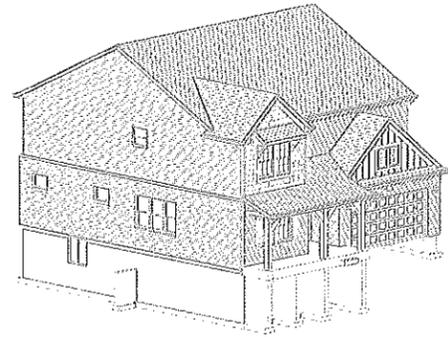
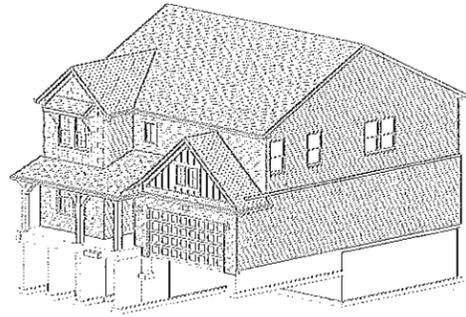
T2330

FOR:
Allen Edwin Homes
LOT #

LOCATION:

SHEET NUMBER

A-03.03



FRONT ELEVATION B3

SCALE: 1/4"=1'-0"

MS-A-02.00.v49

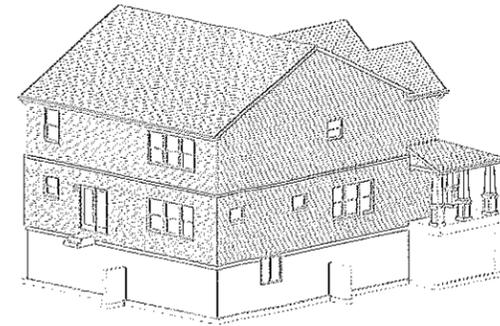
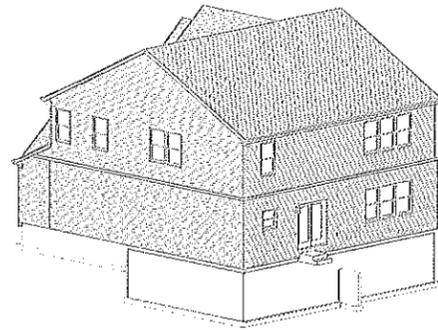
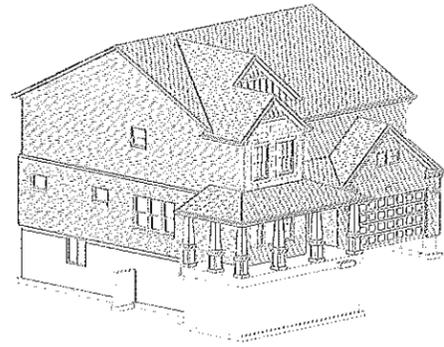
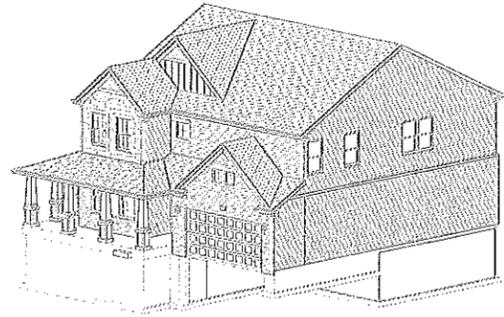
REV. NO.	DATE	REMARKS
T3100		
		GARAGE RIGHT
		REVISION V6.07

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T3100
 FOR: Allen Edwin Homes
 SHEET NUMBER: A-02.00

LOT #:
 LOCATION:



FRONT ELEVATION C3

SCALE: 1/4"=1'-0"

mss/A-03.00.bxd

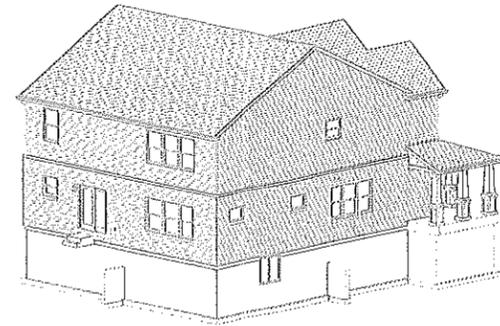
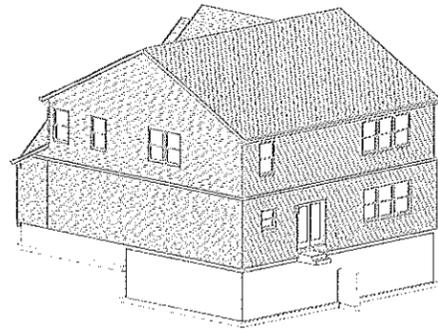
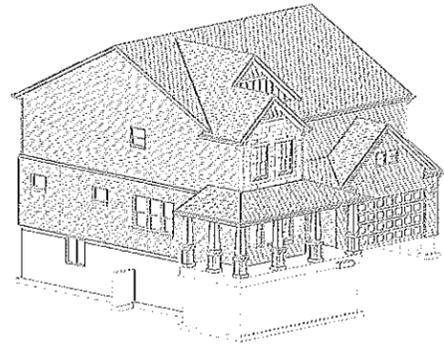
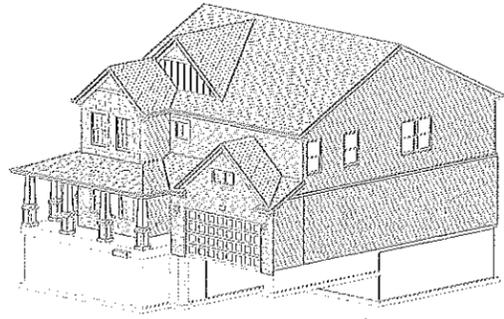
REV. NO.	DATE	REMARKS
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GARAGE RIGHT		
		REVISION V6.08

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T3100
 FOR: Allen Edwin Homes
 SHEET NUMBER: A-03.00

LOT #:
 LOCATION:



REAR ELEVATION C3

SCALE: 1/4"=1'-0"

ms/A-03.03.142

REV. NO.	DATE	REMARKS
T3100		
GARAGE RIGHT		
REVISION	VS.09	

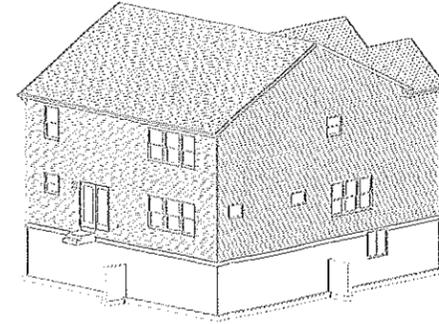
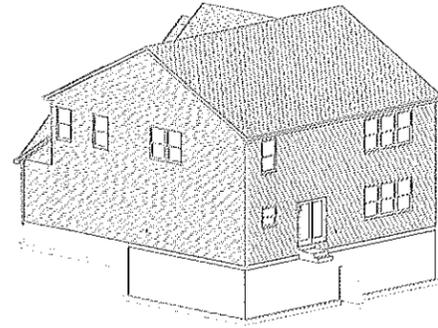
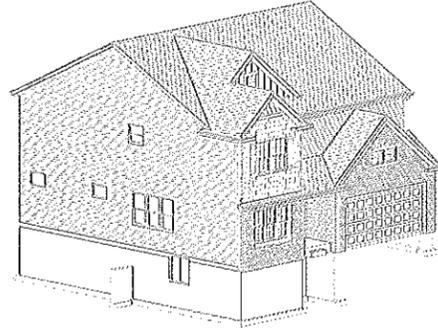
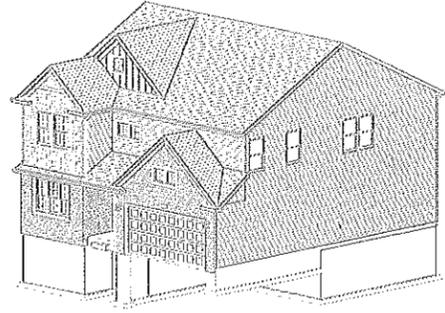
ALLEN EDWIN HOMES
 2186 E. Centre Street
 Portage, MI 49002
 (269) 321-2600
 www.allenedwin.com

PRINT DATE:
07/06/2017

T3100
 FOR:
Allen Edwin Homes
 LOT #:
 LOCATION:

SHEET NUMBER

A-03.03



FRONT ELEVATION A3

SCALE: 1/4"=1'-0"

nts-a-01_02.rvt

REV. NO.	DATE	REMARKS
T3100		
GARAGE RIGHT		
REVISION	V.6.0a	

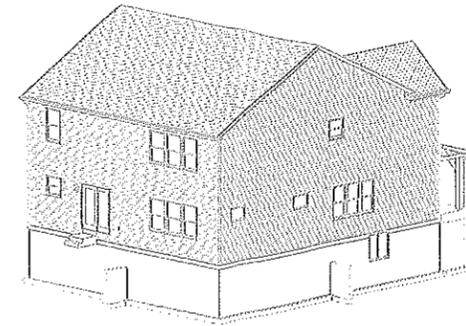
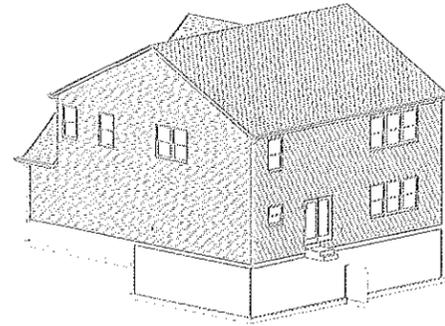
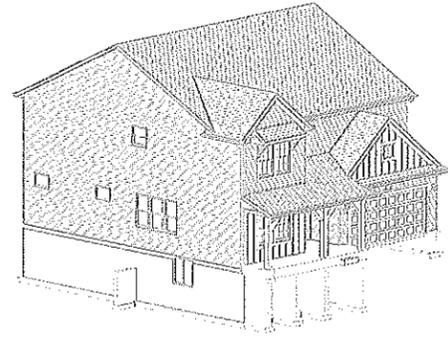
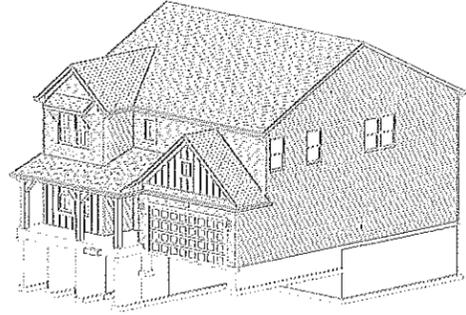
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 Portage, MI 49002
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PRINT DATE:
04/14/2017

T3100
 FOR: Allen Edwin Homes
 SHEET NUMBER
 LOCATION

A-01.02



FRONT ELEVATION B1

SCALE: 1/4"=1'-0"

ms/a-01.03.v49

REV. NO.	DATE	REVISION	REMARKS
T3100		GARAGE RIGHT	
		REVISION US 06	

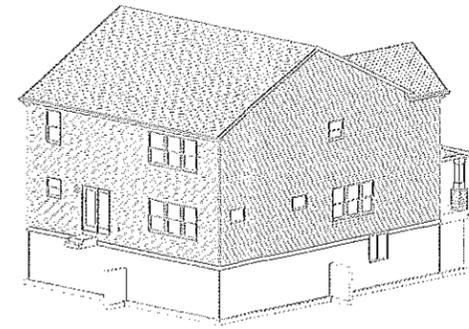
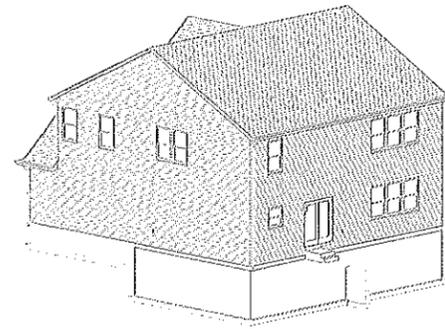
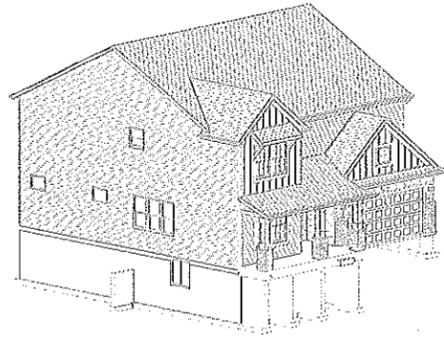
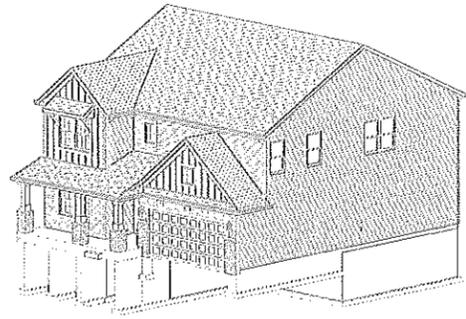
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PRINT DATE:
04/14/2017

T3100
 FOR: Allen Edwin Homes
 SHEET NUMBER: LOT # LOCATION:

A-01.03



FRONT ELEVATION B2

SCALE: 1/4"=1'-0"

MS/A-01.04.USD

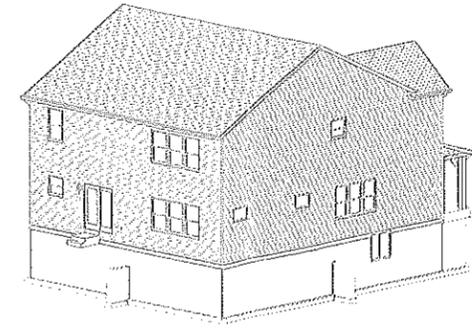
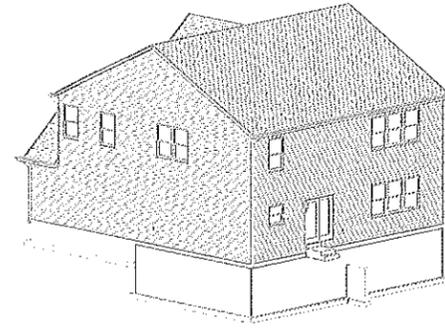
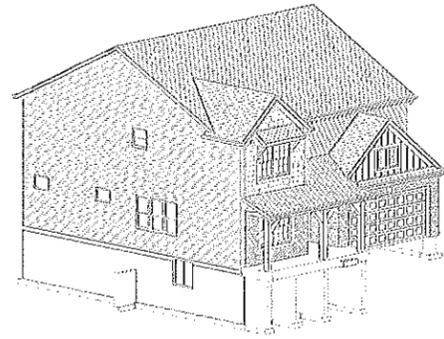
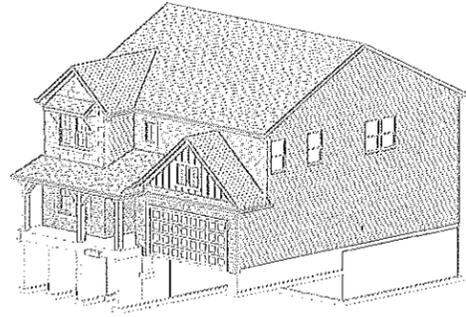
REV. NO.	DATE	REMARKS
T3100		
GARAGE RIGHT		
REVISION	V8.03	

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PRINT DATE
04/14/2017

T3100
 FOR: Allen Edwin Homes
 SHEET NUMBER: A-01.04

LOT #: LOCATION:



FRONT ELEVATION B3

SCALE: 1/4"=1'-0"

ms-A-01.05.v10

REMARKS

REV. NO. DATE

T3100

GARAGE RIGHT

REVISION V8.05

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PRINT DATE:
04/14/2017

T3100

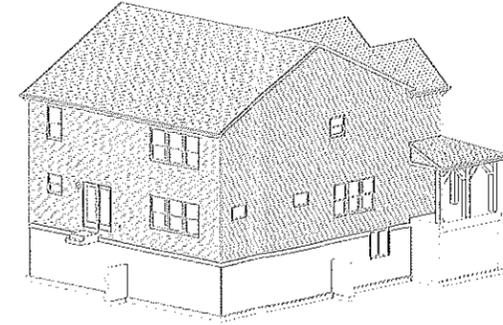
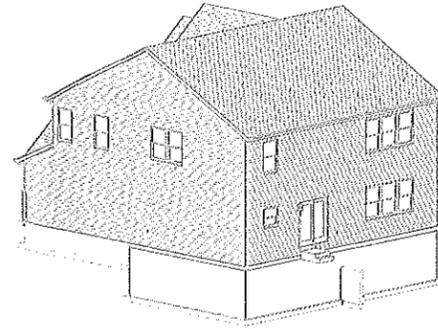
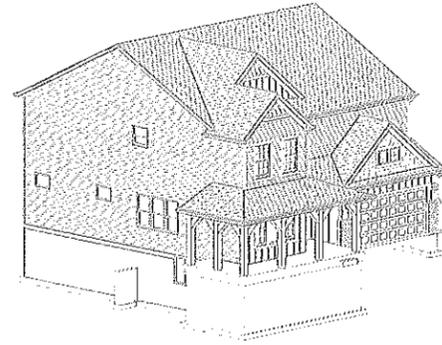
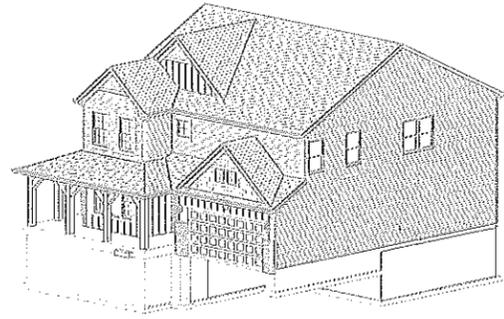
FOR:
Allen Edwin Homes

LOT #

LOCATION:

SHEET NUMBER

A-01.05



FRONT ELEVATION C1

SCALE: 1/4"=1'-0"

mfr-a-01_06_vsp

REMARKS

REV. NO. DATE

T3100
GARAGE RIGHT
REVISION V6.06

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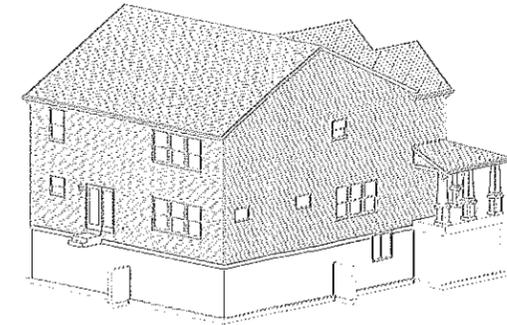
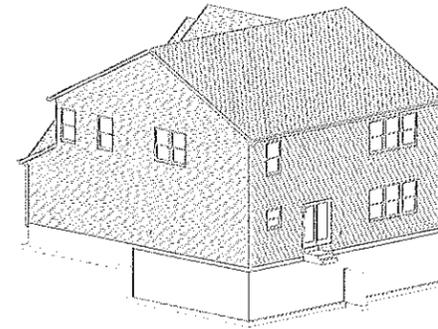
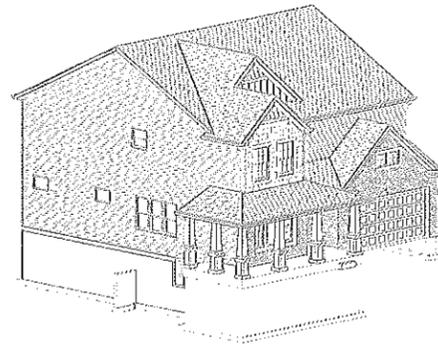
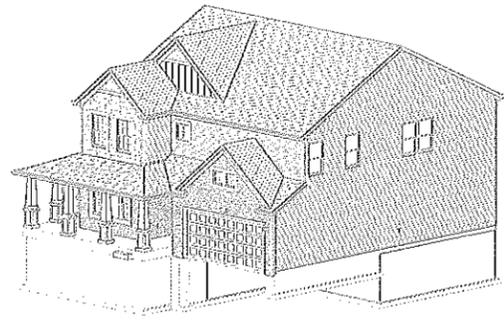


PRINT DATE:
04/14/2017

T3100
FOR: Allen Edwin Homes
LOT #:
LOCATION:

SHEET NUMBER

A-01.06



FRONT ELEVATION C3

SCALE: 1/4"=1'-0"

ms/A-01.08.v10

REV. NO.	DATE	REMARKS
T3100		
GARAGE RIGHT		
		REVISION 1/6/05

ALLEN EDWIN HOMES
 2156 E. Centre Street
 Portage, WI 49002
 (269) 321-2600
 www.allenedwin.com

T3100
 FOR: Allen Edwin Homes
 LOT #:
 LOCATION:

PRINT DATE:
 04/14/2017

SHEET NUMBER
 A-01.08



Memo

TO:

FROM: Chris Madigan
Planning and Economic Development Intern

RE: Short-Term Rentals

DATE: 7/20/17

Airbnb is an internet-based incarnation of a bed and breakfast. Airbnb and other similar on-line short-term residential rental companies allow the occupants of a housing unit to advertise their willingness to rent an entire residence, or room or space in the residence, for any duration; rentals could be as short as one day, but are generally for fewer than 30 days. Currently there is one property listed on the major short-term rental websites in Van Buren Township, at least three additional properties are listed on those sites located within the city of Belleville. Short-term rentals often times serve as an extra source of income for property owners, and can bring additional tourism and revenue to municipalities that allow them. However, many communities are beginning to experience problems related to short-term rentals.

Parking

Many short-term rentals are located in single family neighborhoods. In most cases, the driveway was built to accommodate two or three vehicles. Often times, there may be more than three cars needed to get these renters to the property. This leads to cars that are parked on the street, sometimes making it difficult for emergency vehicles to respond to emergencies and causes increased response times in these neighborhoods. Cities have begun to adopt ordinances creating parking standards for short-term rental properties. Unfortunately, these ordinances only solve the parking issue, but fail to address any of the other issues created by this commercial activity in residential areas.

Noise Complaints

In areas where short-term rentals are situated, some neighboring residents complain of the noise generated by the vacationing renters next door. For those homes located near water, a lake or the ocean, it is important to note that sound travels easily over water and residents located hundreds of yards away may be the ones calling and complaining to the police and their local elected officials. Some cities have noise ordinances, but these have proved problematic to enforce. Many times, after the police arrive at a residence, the noise dies down. These renters may leave the next day with new ones replacing them. The new renters are often unaware of the noise ordinance or past complaints and may cause the same problems. The out-of-state property owner may not even be aware of the problems created by their renters and with the constant turnover. The problem ends as one renter leaves and begins again as new renters arrive. This causes a significant drain on law enforcement resources. When law enforcement officers are called to respond to noise complaints, one less officer is on the street either preventing or solving crimes.

Housing Availability

Because short-term vacation rentals are mainly located in residential areas, by renting a short-term vacation accommodation, tourists are using up space that otherwise might be used for living. In some places, this is resulting in a decrease of long-term housing availability. By reducing the number of affordable housing units that are available for lease or purchase within an extremely constrained housing market, thereby contributing to escalating housing rents/prices. Additionally, an increase in the number of homes dedicated to short-term rentals can destabilize the number of homes where full-time occupants can reside; affecting our schools, churches, boards and commissions that rely on residents to participate in civic life.

Community Benefits

The growth and mainstream adoption of home sharing is leading to fundamental changes in how people travel and experience destinations. These trends are resulting in increased travel, increased spending, and an engagement with different parts of a city than visitors have typically visited. Airbnb has changed where guests stay when they travel. By staying in less concentrated neighborhoods, Airbnb guests distribute the economic impacts of travel to neighborhoods that have not traditionally received the benefits of the tourism industry. Additionally, hosting fundamentally helps hosts make ends meet, keeping residents in communities amid increasing living costs. Many Airbnb hosts rely on this supplemental income to help pay bills and contribute to their savings.

Michigan Regulations

In an effort to figure out how to embrace the sharing economy and strike a proper balance between protecting homeowners' private property rights and promoting tourism on the one hand, and preserving the residential integrity of neighborhoods on the other, many community leaders here in Michigan have begun to grapple with how to handle the home-sharing phenomenon.

- Grand Rapids: City leaders approved regulations in 2014 that require any residence being used as an Airbnb rental to be owner occupied. The regulations also require a permit from the City to rent out a room, and limit the number of rooms that can be rented and the number of people allowed in each room.
- Holland: City council voted to allow short-term rentals under the condition that the residence be owner occupied. Holland further decided to restrict the total number of consecutive days a residence can be rented to 30.
- South Haven: City council also voted to allow short-term rentals under the condition that the property owner register the unit with the city. South Haven also requires each short-term rental have a designated local agent, and limits the total number of occupants in a short-term rental to 16.

Michigan State Legislation

Though there is currently no legislation regulating short-term rentals in the state of Michigan, several legislators recently proposed bills to do so. House Bill 4503 and Senate Bill 329 would require all short-term rentals be treated as a permitted, residential use in any residential zone regardless of local zoning regulations. Municipalities could not require short-term rentals receive a special use or conditional use permit, or be subject to any procedure different from those required for other dwellings in the same zone.

Registration

Short-term rentals in Van Buren Township is a matter closely related to public health, safety, and welfare of the community. It is important to strike a balance between the interests of community residents, business owners, and visitors. In order to alleviate concerns related to parking, noise, and other complaints the sometimes accompany short-term visitors while still permitting property owners to make use of their homes as short-term rentals, the township can consider requiring all short-term rentals be registered. Communities who currently require short-term rentals register, often have rental owners provide personal contact information, or contact information for a designated local agent, the number of dwelling units to be rented

and their addresses, and the maximum numbers of occupants the applicant intends to rent the dwelling unit in any given period. By requiring short-term rentals be registered, the township would simultaneously permit short-term rentals while ensuring that the owner of the property or a designated local agent can be contacted should problems arise from any particular group of short-term renters.