

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION AGENDA
Wednesday, April 26, 2017 – 7:30 PM, Board of Trustees Room**

CALL TO ORDER:

ROLL CALL:

APPROVAL OF AGENDA:

MINUTES:

ITEM #1: Approval of minutes from the regular meeting of April 12, 2017.

CORRESPONDENCE:

PUBLIC HEARING:

UNFINISHED BUSINESS:

NEW BUSINESS:

ITEM #1: ZONING ORDINANCE UPDATE

TITLE: THE VAN BUREN TOWNSHIP PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT HAS PROPOSED A COMPREHENSIVE UPDATE OF THE ZONING ORDINANCE. THE DEPARTMENT IS ASKING THE PLANNING COMMISSION FOR A RECOMMENDATION FOR THE UPDATED ZONING ORDINANCE TO THE TOWNSHIP BOARD OF TRUSTEES.

INFORMATION: The updated Zoning Ordinance is presented to the Planning Commission for recommendation to the Township Board of Trustees.

- A. Presentation by Township staff and consultants
- B. Planning Commission discussion.
- C. Planning Commission considers recommendation to the Board of Trustees.

ITEM #2 16-037 – PRELIMINARY SITE PLAN APPROVAL

TITLE: THE APPLICANT, SPEEDWAY LLC/ANDREW SALT, IS REQUESTING A PRELIMINARY SITE PLAN APPROVAL TO OPERATE A GASOLINE FILLING STATION ON PARCEL 83- 39-99-0009-721 (NE CORNER OF TYLER AND BELLEVILLE ROAD,) VAN BUREN TOWNSHIP, MI 48111.

LOCATION: Parcel number V-125-83-039-99-0009-721. The site is proposed to be approximately 2.064 acres. It is located in the C-1, General Business district. This site is located on the east side of Belleville Road between Ecorse and Tyler Road.

- A. Presentation by the applicant.
- B. Presentation by the Township Staff and Consultants.
- C. Planning Commission considers approval of the preliminary site plan

GENERAL DISCUSSION:

ITEM #1: HAMPTON INN EXTERIOR RENOVATIONS AND LANDSCAPING IMPROVEMENTS

ADJOURNMENT:

**CHARTER TOWNSHIP OF VAN BUREN
PLANNING COMMISSION
APRIL 12, 2017
MINUTES - DRAFT**

Chairperson Thompson called the meeting to order at 7:33 p.m.

ROLL CALL:

Present: Jackson, Boynton, Atchinson, Budd, Franzoi and Thompson.

Excused: Kelley.

Staff: Director Akers and Secretary Harman.

Planning Representatives: McKenna Associate, Patrick Sloan.

Audience: Three (3).

APPROVAL OF AGENDA:

Motion Jackson, Atchinson second to approve the agenda of April 12, 2017 as presented.

Motion Carried.

APPROVAL OF MINUTES:

Motion Budd, Atchinson second to approve the regular meeting minutes of March 22, 2017 as presented. Motion Carried.

PUBLIC HEARING:

ITEM # 1 ZONING ORDINANCE ADOPTION

TITLE: VAN BUREN TOWNSHIP IS CONDUCTING A PUBLIC HEARING TO CONSIDER THE ADOPTION OF A NEW ZONING ORDINANCE. THIS NEW ZONING ORDINANCE REFLECTS A COMPREHENSIVE UPDATE TO THE CURRENT ZONING ORDINANCE.

Motion Boynton, Jackson second to open the public hearing. Motion Carried.

Patrick Sloan of McKenna Associates presented his memo dated March 2, 2017 detailing the history of the zoning ordinance review process including meeting dates and sections of the zoning ordinance that were reviewed. Mr. Sloan summarized and discussed the major changes made to the ordinance.

No comments from the Commission or the audience.

Motion Boynton, Franzoi second to close the public hearing. Motion Carried.

ITEM # 2 CASE #17-006

TITLE: REZONING 40631 ALDEN DRIVE (C-1, GENERAL COMMERCIAL TO R1-C, SINGLE FAMILY RESIDENTIAL)

LOCATION: THIS SITE IS LOCATED AT 40631 ALDEN DRIVE, WHICH IS LOCATED SOUTH OF THE I-94 SERVICE DRIVE AND EAST OF HAGGERTY ROAD.

Motion Budd, Jackson second to open the public hearing. Motion Carried.

Owner/Applicant Steve Drahos gave the presentation. Mr. Drahos is requesting the rezoning of the property from C-1, General Commercial to R1-C, Single Family Residential to add an addition to the existing home. The rezoning of the property will allow for the size of the addition that the owner/applicant needs.

Director Akers presented his review letter dated April 7, 2017. Staff recommends that the Planning Commission recommend approval of the request to amend the Township's Zoning Map by rezoning the property located at 40631 Alden Drive from C-1, General Commercial to R1-C, Single Family Residential based upon the five (5) reasons referenced in his review letter.

No comments from the Commission or the audience.

Motion Atchinson, Jackson second to close the public hearing.

NEW BUSINESS:

ITEM # 1 CASE #17-006

TITLE: REZONING 40631 ALDEN DRIVE (C-1, GENERAL COMMERCIAL TO R1-C, SINGLE FAMILY RESIDENTIAL)

LOCATION: THIS SITE IS LOCATED AT 40631 ALDEN DRIVE, WHICH IS LOCATED SOUTH OF THE I-94 SERVICE DRIVE AND EAST OF HAGGERTY ROAD.

No questions or comments from the Commission or the audience.

Motion Jackson, Boynton second to recommend to the Township Board of Trustees approval of the request to amend the Township's Zoning Map by rezoning the property located at 40631 Alden Drive, parcel number V125-83-093-01-0021-001 from C-1, General Commercial to R1-C, Single Family Residential based upon the five (5) reasons referenced in Director Akers review letter dated March 3, 2017. Motion Carried.

Roll Call:

Yeas: Atchinson, Budd, Boynton, Jackson, Franzoi and Thompson.

Nays: None.

Absent: Kelley.

Motion Carried.

GENERAL DISCUSSION:

Director Akers discussed the Qualification Committee that interviewed three Planning firms to provide general planning services to the Township. The Committee is recommending McKenna Associates to the Board of Trustees next week.

Commissioner inquired about the status of the gas station at Michigan Avenue/Denton Road. Director Akers informed the Commission and the audience that building permits have been issued for the gas

station and the applicant has acquired the MDOT property for the sidewalk. Commissioner inquired about the status of the Township acquiring DNR lakefront property. Director Akers informed the township has submitted an application to acquire the DNR property and are awaiting a response.

Motion Boynton, Atchinson second to adjourn at 8:02 p.m. Motion Carried.

Respectfully submitted,

Christina Harman
Recording Secretary

PLANNING & ZONING APPLICATION

Case number _____

Date Submitted _____

APPLICANT INFORMATION

| | | | |
|-----------------|-------------------------------|-------------------|----------------|
| Applicant | Speedway LLC / Andrew Salt | Phone | (937) 561-2802 |
| Address | 500 Speedway Drive | Fax | |
| City, State | Enon, OH 45323 | Zip | 45323 |
| E:mail | adsalt@speedway.com | Cell Phone Number | (937) 561-2802 |
| Property Owner | Mary Ellen Brown | Phone | 248-799-3143 |
| | (if different than applicant) | | |
| Address | 23 Golden Sunray Lane | Fax | |
| City, State | Las Vegas, NV | Zip | 89135 |
| Billing Contact | Speedway LLC | Phone | (937) 561-2802 |
| Address | 500 Speedway Drive | Fax | |
| City, State | Enon, OH | Zip | 45323 |

SITE/PROJECT INFORMATION

Name of Project Speedway Store #100866

Parcel Id No. V125-83-39990009721 Project Address NW corner of Tyler Road and Belleville Rd

Attach Legal Description of Property

Property Location: On the N Side of Tyler Road; Between Tyler Road and Belleville Road. Size of Lot Width 326 Depth 314

Acreage of Site 2 Total Acres of Site to Review 2 Current Zoning of Site C1

Project Description: Proposed C4600 Convenience Store with 8 Auto Fueling Dispensers

Is a re-zoning of this parcel being requested? N YBS (if yes complete next line) NO

Current Zoning of Site C1 Requested Zoning _____

SPECIAL PERMIT INFORMATION

Does the Proposed Use Require Special Approval? No YBS (if yes complete next line) NO

Section of Zoning Ordinance for which you are applying _____

Is there an official Woodland within parcel? No Woodland acreage _____

List total number of regulated trees outside the Woodland area? _____ Total number of trees _____

Detailed description for cutting trees _____

If applicable application **MUST** be accompanied with a Tree Survey or statement of no trees, which incorporates all the requirements listed in Section 4.45 of Zoning Ordinance 6-2-92, as amended.

OWNERS AFFIDAVIT

Mary Ellen Brown

Print Property Owners Name

Mary Ellen Brown

Signature of Property Owner

1-27-17

Date

STATE OF ~~MICHIGAN~~ NEVADA
COUNTY OF ~~WAYNE~~ CLARK

The undersigned, being duly sworn, deposes and says that the foregoing statements and answers herein contained and accompanied information and date are in all respects true and correct.

Subscribed and sworn before me this 27 day of January, 2017
Kimberli M. Davis Notary Public, Clark County, Nevada My Commission expires NOV. 30, 2019



April 21, 2017

Planning Commission
Charter Township of Van Buren
46425 Tyler Road
Belleville, Michigan 48111

**Subject: VBT-16-037 SPR; Speedway at Belleville Road and Tyler Road; Site Plan Review #2;
Revised Plans Dated April 13, 2017**

Dear Commissioners:

The applicant, Speedway LLC, proposes to construct a Speedway gas station and convenience store on a vacant site at the northeast corner of Belleville Road and Tyler Road. The subject parcel (V125-83-039-99-0009-72.1) is approximately 3.35 acres (per Wayne County GIS), but the area of the site delineated on the plan is 2 acres.



Aerial Image of Site (Source: Google Maps 2017)

We have reviewed the site plan based on Zoning Ordinance standards and sound planning and design principles. We offer the following comments for your consideration (any items that require changes or additional information are underlined):

COMMENTS

1. **Zoning and Use.** The site is zoned C-1, General Business District. Per Section 12.02(ss) of the Zoning Ordinance, gas stations are permitted uses in the C-1 district. Additionally, gas stations are subject to the development standards of Section 4.15, which require service stations to be at least 500 feet from the entrance of a school, playground, or park. There are no schools, playgrounds, or parks within 500 feet, so this standard is met.
2. **Required Information.** Section 4.33 of the Zoning Ordinance includes requirements for information on a site plan. The following items must be included on the site plan:
 - a. Physical Feature Item 19 requires the location of any outdoor storage of materials. For the subject site, this may include propane, ice, and/or firewood.
 - b. Physical Feature Item 20 requires information and plans for the storage, loading, disposal, and transfer of fuel, including specifications for the location, size, construction, and use of the fuel tanks. The specifications for the fuel tanks must be included.
3. **Lot.** The existing and proposed parcel lines, dimensions, and legal descriptions have been added to the plans, which help describe the relationship between the existing and proposed parcels.
4. **Dimensional Requirements.** The C-1 district requires a minimum front yard setback of 75 feet, a minimum side yard setback of 15 feet, and a minimum rear yard setback of 25 feet. The site plan shows all setback lines and the buildings are all in compliance with this part of the Zoning Ordinance. The C-1 district has no restrictions on lot area, width, or coverage.
5. **Access and Circulation.**
 - a. **Location of Curb Cuts.** Section 12.04(a) of the Zoning Ordinance limits sites in the C-1 District to no more than one point of ingress/egress per 500 feet. The plan proposes two (2) new curb cuts in compliance with this requirement: One (1) on Belleville Road and one (1) on Tyler Road. The offset distance from the center of the intersection to the center of each access drive is shown. Tapers are included on both sides of each entry point.
 - b. **Cross Access.** Consistent with Township policy, the applicant proposes cross access easements to the north and east. In order to be consistent with the proposed Belleville Road Overlay District and Mixed-Use District regulations of the Zoning Ordinance, we recommend that the cross access easement to the site to the north be located 30 feet from the right-of-way line (to allow for a 10-foot deep landscape area and a 20-foot deep parking space on the adjacent site) and 25 feet wide (to allow for a 24-foot wide aisle and 11-foot wide sidewalk). Additionally, we recommend that the driveway connecting to the north be moved westward to be 30 feet from the right-of-way line. Although the Mixed-Use District has not yet been adopted, it may be adopted within 2-3 months.

The cross access area proposed east of the site is confusing. Although the connection to Tyler Road makes sense (as it is directly aligned with the Meijer curb cut), the stubs on the east and north side of this area indicate additional planned development and/or a ring road. We recommend that a conceptual drawing be shown for the rest of the site to illustrate how

future development is anticipated. While this conceptual plan would not have to be detailed, it may provide for a more appropriate location of the stubs.

- c. **Sidewalks.** There is already a sidewalk along Belleville Road, which must be reconstructed. A sidewalk is proposed along Tyler Road. We recommend that the sidewalk along Tyler Road be continued to the current eastern lot line. While the applicant has stated that this sidewalk would have to be rebuilt when a subsequent developer comes in, only a minor part of this sidewalk would need to be removed to make room for a curb cut. Sidewalks are proposed from Belleville Road and Tyler Road to the building entrance. We recommend that an additional sidewalk also be added from the amenity area at corner of Belleville Road and Tyler Road into the site. Finally, if the stub roads are kept on the east side of the site, we recommend that a sidewalk be installed along the west side of the stub road from Tyler Road to connect to the sidewalk on the south side of the building.

6. Parking and Loading.

- a. **Space Dimensions.** Parking spaces are dimensioned at 9.5 feet wide by 18 feet long. While the parking spaces must be 20 feet long, they can be reduced to 18 feet if the adjacent sidewalk is 8 feet wide and can accommodate a 2-foot overhang. The adjacent sidewalk is 8 feet wide, so this standard is met. The maneuvering lanes are at least 24 feet wide through the entire site. There are no conflicts anticipated between parked vehicles and vehicles at the gas pump islands.
- b. **Number of Parking Spaces.** The minimum number of parking spaces are calculated pursuant to Section 6.01(C)(14) of the Zoning Ordinance. The required number of parking spaces include 2 at each of the pump islands. The plan shows 8 pump islands and 2 parking spaces at each of them, so this standard is met. One (1) parking space per 200 sq. ft. of gross floor area of retail building is required, as well as 1 space per employee on the largest shift. The building is 4,600 square feet, requiring 23 spaces, and there will be 6 employees on the largest shift. A total of 29 spaces are required, and 29 are provided. The minimum length of parallel spaces is 23 feet, so we recommend that the striping between the parallel spaces along Belleville Road be shortened in order to make the spaces 23 feet long.
- c. **Barrier Free Spaces.** Two barrier free spaces are provided, which is sufficient for a parking lot of 26-50 spaces.
- d. **Loading.** A loading area (10' x 25') has been added to the site plan. Fire lane signage has been added to the plan. We will defer to the Fire Inspector regarding the adequacy of the fire lane areas.

7. **Landscaping and Screening.** The site is part of the Township's signature Belleville Road corridor and "downtown," which is planned as a high-image attractive mixed-use corridor. Considerable public investment has been made for streetscape plantings, decorative lighting, amenities, and aesthetic improvements. These features have been successfully mirrored in newer developments. All sites are strongly encouraged to exceed Ordinance minimums for landscaping, site design, and building appearance among others. Our comments on individual landscaping requirements are reflected in the following comments:

- a. **Landscaping Adjacent to the Right-of-Way.** Section 4.40(3)(b) requires parking lot frontage must be screened from view from the right-of-way with a continuous landscape screen at least 3 feet in height or a 3-foot-high decorative screening wall. If a berm is proposed, a 1-foot high landscape screen is required. A berm is proposed along Belleville Road and Tyler Road, which includes several shrubs. Although shrubs were recently added, we recommend that additional shrubs be included along Belleville Road to create shrub rows except where there are sidewalk openings.

Section 4.40(3)(b) also requires a minimum of 1 tree per 50 feet of road frontage. Based on the frontages of Belleville Road (326 feet) and Tyler Road (236 feet), 7 trees and 5 trees are required, respectively. The required trees are shown on the plans.

- b. **Vehicular Surface Landscaping.** Section 4.40(3)(d) requires the parking lot landscape area to be at least 5% of the paved area. According to Sheet LP, 1,731 sq. ft. is required and 2,050 sq. ft. of landscape area is provided. Each landscaped island must be at least 360 sq. ft. and have at least 1 tree per 100 sq. ft. of landscape island area, and each island meets these requirements. Based on the landscape island area of 1,731 sq. ft., 18 trees are required. There are 18 trees proposed, though not all are located in landscape island areas because 1 tree per 100 sq. ft. in these areas is prohibitive. While each landscape island includes at least 1 tree, the remaining required trees are dispersed along the perimeter of the parking lot.
- c. **General Landscaping.** Section 4.40(3)(a) requires 1 tree per 3,000 sq. ft. of landscaped open space. Sheet LP calculates 33,274 sq. ft. of open space, so 12 trees are required. The 12 trees are shown on the plans.
- d. **Screening of Residential Districts.** Section 4.40(3)(c) requires a continuous masonry wall or chain link fence with dense landscaping 6 feet in height, or a continuous landscape buffer strip no less than 25 feet wide, for lots adjacent to residential land uses. Because there is a residential zone and residential land use adjacent to the east side of the existing parcel, we recommend that this requirement be met even though a land division is proposed that would not make the proposed parcel non-adjacent to the residential lot to the east. Without this screening, the residential lot to the east will inevitably be impacted by the proposed gas station. There are 15 spruce trees proposed along the east side of the proposed parcel that are 6 feet in height. We recommend that additional evergreen trees be proposed so that there is a staggered double row of evergreen trees spaced 15 feet on center along the eastern lot line of the proposed parcel. We also recommend that the height of these evergreen trees be increased to 8 feet.
- e. **Other Requirements.** Underground irrigation is required and must be added to the plan. Although Sheet LP1 describes the irrigation to take place, the method and details must be on the plan. The applicant has stated that the irrigation will be added to the plans after preliminary site plan approval. Therefore, we recommend that the underground irrigation system be added to the final site plan. Finally, screening of all mechanical equipment must also be shown.

8. **Tree Removal Permit.** A tree removal permit is required if the applicant proposes to remove any trees of 5" caliper or larger. Sheet CD notes 4 trees that will be removed and it includes the list of existing trees of 5" caliper or greater that are proposed to be removed. Two new trees

will be planted as mitigation per Section 4.45(E) of the Zoning Ordinance. Replacement trees must be clearly labeled on the landscape plan.

9. **Stormwater Pond.** The site is now proposed to include an underground stormwater detention area instead of a stormwater pond. We will defer comments to the Township Engineer.
10. **Lighting.** The cut sheets of proposed lighting on the site and photometric plan were submitted, along with an illumination map and night rendering at the site. While most of the fixtures appear to be full cutoff fixtures, we recommend that all fixtures be full cutoff. We also recommend that the light fixtures near Belleville Road and Tyler Road be changed to a more decorative fixture. All lights will be mounted on 15-foot tall poles with a 2-foot concrete base, which is below the Zoning Ordinance maximum of 25 feet. All wall lighting is proposed to be directed downward as required. The light levels appear to be in compliance with the Ordinance, with little or no light trespass onto the neighboring sites.
11. **Architecture and Building Details, and DDA/Belleville Road Standards.** The site is part of the Belleville Road downtown district of Van Buren Township, the primary business district and activity hub of the community. The Planning Commission has consistently required a high standard of design for new developments in this area, as reflected in the following comments. Additionally, this site is located at a primary corner and key transition point to the area of Belleville Road to the north, which is also envisioned in the future to be a Mixed-Use zoning district to include buildings with attractive facades and a consistent design along the entire corridor. Section 12.04 of the Zoning Ordinance requires sites zoned C-1 to meet the architectural standards of Section 11.05. The requirements of Section 11.05 and the standards of the DDA district are as follows:
 - a. **Building Materials.** Section 11.05(a) requires brick or another material of similar architectural quality and appearance to be the principal material for exterior building surfaces. Brick is proposed on all sides of the building and on the gas pump canopy columns.
 - b. **Roof Articulation, Projection, and Relief.** Section 11.05(b) requires buildings to incorporate roof articulation, projection and relief, covered walkways into facades which include entrances or display windows. The principal building has a shingled, pitched roof to provide a better appearance. We recommend that the principal building include a reverse gable covered area over the building entrance. Also, there is a large ladder and staircase in the back on the building that will be visible from Tyler Road. We recommend that this ladder and staircase be screened from view and that security provisions be included on the plans to prevent trespassing.

The gas pump canopy also has a shingled, pitched roof. However, with 8 rows of pump stations, the proposed canopy will be one of the largest canopies in the region at over 190 feet in length. Because of the length of this canopy and its visibility from a signature corner in the Township, we recommend that the canopy include more articulation. For example, there is a gas station canopy at 400 Ann Arbor Road in Plymouth Township, MI that includes a building articulation feature over its canopy. We recommend that the applicants consider similar type of feature over its canopy to define the intersection corner, break up the long canopy roof, and make the design more consistent with the proposed Belleville Road Overlay District.

Canopy Example: 400 Ann Arbor Road, Plymouth Township, MI (Source: Google Maps)



- c. **Outdoor Amenity Space.** Section 11.05(d)(i) requires contiguous outdoor space, independent of sidewalks, pedestrian circulation areas and required landscaping, in an amount of at least 1 square foot for each 25 square feet of principal building, and in no case less than 250 square feet in total. Based on the 3,936 sq. ft. area of the building, 250 sq. ft. is required. Such space shall be illuminated, landscaped, visible from the building and adjacent right-of-way, separated from parking and motorized vehicular circulation and linked to the building, sidewalks and pedestrian circulation system by a series of walks and paths. On the south side of the principal building, there is an outdoor eating area at least 250 sq. ft. in size that includes tables and chairs is surrounded by a decorative fence. The specifications of the tables, chairs, and fence have been added to Sheet CS2.
- d. **Enhanced Site Improvements.** Section 11.05(d)(ii) requires enhanced, upgraded and improved fixed man-made and natural site improvements, including but not limited to seating, benches, tables, decorative fences, railings, low decorative brick walls, entrance structures and landscaping, decorative building and site lighting, brick paver walkways, sidewalks within large parking lots, "wet" ponds or other water features with aerating fountains, gazebo or pavilion structures, bicycle racks, litter baskets, decorative retaining walls, low hedges and additional planting beds and landscaped islands. In addition to the outdoor seating area noted above, a plaza area is proposed near the intersection of Belleville Road and Tyler Road similar to the outdoor plaza area on the southeast and southwest corners of this intersection. This area includes a brick wall and columns. The DDA has additional material standards for walls, so we recommend modifying the drawings to include any required materials. We recommend that the paved ground surface be composed of patio pavers or stamped concrete and that benches and trash cans be added to this area. We also recommend that additional side profile renderings be included to show how the landscaping and amenities will look. Finally, a bicycle rack is shown on Sheet STD-CYE-A and is located on the east side of the parking lot near the building.

12. **Dumpster.** A dumpster is proposed for the northeast corner of the parking lot. The Zoning Ordinance requires dumpsters to be clearly accessible to servicing vehicles. It also requires the

dumpster enclosure to be 6 feet high or 1 foot higher than the dumpster (whichever is greater), composed of brick or decorative masonry material to match or complement the building, and be equipped with a steel-reinforced pressure-treated wood gate. The dumpster enclosure specifications are on Sheet STD-SS-QB-D1, and must be modified to show a conforming gate.

- 13. Signs.** There are several signs proposed on the site, subject to the individual regulations of the sign ordinance (Section 4.23 of the Zoning Ordinance) as described below:
- a. **Maximum Total Sign Area.** Section 20.409(4)(a) of the Zoning Ordinance allows 1 square foot of total sign area per linear foot of lot frontage up to 200 feet, and 0.25 square feet of additional sign area per linear foot of lot frontage over 200 feet, subject to the individual restrictions for wall signage, monument signage, and canopy signage (below). The site has approximately 320 feet of frontage along Belleville Road and 280 feet on Tyler Road, which allows for 230 square feet of sign area along Belleville Road and 220 square feet of sign area along Tyler Road. Again, the sign area of the site is restricted by the limitations for wall signage, monument signage, and canopy signage, below.
 - b. **Wall Signs.** Section 20.409(4)(b) of the Zoning Ordinance allows 3 square feet of wall sign area per linear foot of building frontage, not to exceed 200 square feet. The linear footage of the building is 82 feet on the west side and 48 feet on the south side, so the building may have up to 200 sq. ft. of sign area. A total wall sign area of 92.12 sq. ft. is proposed.
 - c. **Monument Sign.** Section 20.409(4)(b) of the Zoning Ordinance allows for 1 monument sign not to exceed 8 feet in height, which may be 60 sq. ft. for lots with a frontage of between 200-400 feet. The proposed monument sign is 7 feet, 8 inches high including the base, and is the only monument sign proposed. However, the monument base must be increased to at least 2 feet in height.
 - d. **Canopy Sign.** Section 20.409(4)(g) allows up to 40 sq. ft. of sign area for a canopy, and 37.10 sq. ft. are proposed.

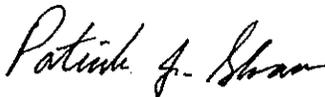
RECOMMENDATION

The applicant has revised the plan and satisfied several of our staff review comments; however, there are several items that still must be addressed. Some of these items (such as architectural comments and recommendations on the locations of access easements) merit more discussion prior to a decision on the preliminary site plan. Therefore, we recommend the Planning Commission approve the preliminary site plan, subject to the following conditions:

1. Physical Feature Items 19 and 20 of Section 4.33 of the Zoning Ordinance must be included on the site plan.
2. That the applicant consider relocating the northern cross access easement to the site to be 30 feet from the right-of-way line (to allow for a 10-foot deep landscape area and a 20-foot deep parking space on the adjacent site) and 25 feet wide (to allow for a 24-foot wide aisle and 11-foot wide sidewalk). Additionally, we recommend that the driveway connecting to the north be moved westward to be 30 feet from the right-of-way line. These recommended changes would

- be consistent with the proposed Belleville Road Overlay District and Mixed-Use District regulations of the Zoning Ordinance.
3. That a conceptual drawing be shown for the remainder of the current site to illustrate how future development is anticipated. While this conceptual plan would not have to be detailed, it may provide for a more appropriate location of the stubs.
 4. That the sidewalk along Tyler Road be continued to the current eastern lot line.
 5. That a sidewalk be installed along the west side of the stub road from Tyler Road to connect to the sidewalk on the south side of the building.
 6. That the striping between the parallel spaces along Belleville Road be shortened in order to make the spaces 23 feet long.
 7. That additional shrubs be included along Belleville Road and to create shrub rows except where there are sidewalk openings.
 8. That additional evergreen trees be proposed on the east side of the site so that there is a staggered double row of evergreen trees spaced 15 feet on center along the eastern lot line of the proposed parcel. We also recommend that the height of these evergreen trees be increased to 8 feet.
 9. That the underground irrigation system be added to the final site plan and that the screening of all mechanical equipment also be shown.
 10. That the plans show which proposed trees are the required replacement trees.
 11. That all light fixtures be full cutoff and that the light fixtures near Belleville Road and Tyler Road be changed to a more decorative fixture.
 12. That the principal building include a reverse gable covered area over the building entrance, and that the large ladder and staircase in the back on the building be screened from view and that security provisions be included on the plans to prevent trespassing.
 13. We recommend the applicants consider additional architectural features to the canopy to give it more articulation and make its design more consistent with the proposed Belleville Road Overlay District.
 14. That the drawings of the walls at the corner of Belleville Road and Tyler Road be modified to include any materials recommended by the DDA and that the paved ground surface be composed of patio pavers or stamped concrete.
 15. We recommend that the applicants consider adding benches and trash cans to the amenity area at the corner of Belleville Road and Tyler Road. We also recommend that additional side profile renderings be included to show how the landscaping and amenities will look.
 16. That the dumpster enclosure be modified to show a conforming gate.
 17. That the monument base of the monument sign be increased to 2 feet in height.

Respectfully submitted,
McKENNA ASSOCIATES



Patrick J. Sloan, AICP
Senior Principal Planner



Stephen Hannon
Assistant Planner

March 13, 2017

Mr. Ron Akers
Charter Township of Van Buren
Planning Department
46425 Tyler Road
Belleville, MI 48111

RE: VBT 16-037-SPR, Speedway, Belleville Road and Tyler Road
Site Plan Review #1

Dear Mr. Akers:

This letter is in response to your comment dated February 24, 2017 for the above referenced project. We have prepared the following responses to the plan review comments listed below.

Zoning Ordinance Comments:

2. *Comment:* *Required Information. Section 4.33 of the Zoning Ordinance includes requirements for information on a site plan. The following items must be included on the site plan:*
1. *General Item 4 requires the dimensions of all lot and property lines. While the proposed lot lines of the site are shown, the current lot lines are not shown and it is difficult to determine how the proposed lot will relate to the remaining lot area.*
 2. *Physical Feature Item 2(a) requires the site plan to include the following note: "Paved surfaces, walkways, signs, lighting and other structures and surfaces shall be maintained in a safe, attractive condition as originally designed and constructed. Parking lot striping and markings shall be maintained in a clearly visible condition."*
 3. *Physical Feature Item 16(a) requires the site plan to include the following note: "Owner agrees to seasonal maintenance program and will replace all diseased, dead or damaged plants, replenish mulch, control weeds, fertilize and prune beginning upon completion of construction of landscaping."*
 4. *Physical Feature Item 19 requires the location of any outdoor storage of materials. For the subject site, this may include propane, ice, and/or firewood.*
 5. *Physical Feature Item 20 requires information and plans for the storage, loading, disposal, and transfer of fuel, including specifications for the location, size, construction, and use of the fuel tanks. The specifications for the fuel tanks must be included.*

Response:

1. See added bearing and distance on CS1 sheet.
2. See sheet CS2
3. See sheet CS2
4. Ice and propane are shown on left side of building.
5. See added typ standard fueling details. Full set of detailed site specific plans will be sent for review/approval during detailed dev.

3. *Comment:* Lot. As previously stated, the parent parcel (V125-83-039-99-0009-721) is approximately 3.35 acres (per Wayne County GIS), but the area of the site shown on the plan is 2 acres. The existing and proposed parcel lines, dimensions, and legal descriptions must be shown on the plans.

Response: See attached lot split plan.

5. *Comment:* *Access and Circulation.*
- a. *Location of Curb Cuts.* Section 12.04(a) of the Zoning Ordinance limits sites in the C-1 District to no more than one point of ingress/egress per 500 feet. The plan proposes two (2) new curb cuts in compliance with this requirement: One (1) on Belleville Road and one (1) on Tyler Road. The offset distance from the intersection must be marked, but the entrances appear to be far enough away that no issues with turning movements are anticipated. Tapers are included on both sides of each entry point.
 - b. *Cross Access.* Consistent with Township policy, the applicant proposed cross access easements to the north and east. The cross access easement to the site to the north should be located 10 feet from the right-of-way line (to allow for a 10-foot wide landscape area) and 55 feet wide (to allow for a 24-foot wide aisle, 20-foot deep parking spaces, and 11-foot wide sidewalk). This would make the cross access area compliant with the proposed Mixed-Use District along Belleville Road between Tyler Road and Ecorse Road. Although the Mixed-Use District has not yet been adopted, it may be adopted within 2-3 months. The cross access area proposed east of the site is confusing. Although the connection to Tyler Road makes sense (as it is directly aligned with Meijer's curb cut), the stubs on the east and north side of this area indicate additional planned development and/or a ring road. Additional details on future or anticipated development to the east are required.
 - c. *Sidewalks.* There is already a sidewalk along Belleville Road, which may need to be reconstructed. A sidewalk is proposed along Tyler Road. We recommend that the sidewalk along Tyler Road be continued to the current eastern lot line. Sidewalks are proposed from Belleville Road and Tyler Road to the building entrance. We recommend that an additional sidewalk also be added from the

amenity area at corner of Belleville Road and Tyler Road into the site. Finally, if the stub roads are kept on the east side of the site, we recommend that a sidewalk be installed on the west side of the stub road from Belleville Road to connect to the sidewalk on the south side of the building.

Response:

- a. See sheet CS1 for added dimension
- b. Please see sheet CS1 for added easement. The future development is unknown at this time.
- c. Noted but this sidewalk, if extended all the way to the east, would have to be rebuilt when the developer comes in. We request to not extend past Speedway's purchase property (as depicted on sheet CV. The intent is to build the sidewalk on property that Speedway will own to the eastern boundary of the divided lot. We have a sidewalk connecting the Tyler Road walk to the front of the building. See CS and CS 1

6. **Comment:**

Parking and Loading.

- b. *Number of Parking Spaces. The minimum number of parking spaces are calculated pursuant to Section 6.01(C)(14) of the Zoning Ordinance. The required number of parking spaces include 2 at each of the pump islands. The plan shows 8 pump islands and 2 parking spaces at each of them, so this standard is met. One (1) parking space per 200 sq. ft. of gross floor area of retail building is required, as well as 1 space per employee on the largest shift. The building is 3,936 square feet, which requires 20 required spaces. The site plan does not state the total number of employees on the largest shift, so this must be included on the site plan. There are 24 total spaces provided, so the site will be in compliance if there are no more than four employees on the largest shift. Calculations for all parking requirements should be indicated on the site plan. If additional parking spaces are needed, we recommend including parallel parking spaces along the far west end of the parking lot near the air machine.*
- c. *Barrier Free Spaces. One barrier free space is provided, which is sufficient for a parking lot of fewer than 25 spaces.*
- d. *Loading. A loading area (10' x 25') and a fire lane must be indicated on the site plan.*

Response:

- b. See sheet CS upper left corner for updated site plan and data. See updated sheet CS
- d. See added loading and fire lane (signage) added.

7. **Comment:**

Landscaping and Screening. The site is part of the Township's signature

Belleville Road corridor and "downtown," which is planned as a high-image attractive mixed-use corridor. Considerable public investment has been made for streetscape plantings, decorative lighting, amenities, and aesthetic improvements. These features have been successfully mirrored in newer developments. All sites are strongly encouraged to exceed Ordinance minimums for landscaping, site design, and building appearance among others. Our comments on individual landscaping requirements are reflected in the following comments:

- a. *Landscaping Adjacent to the Right-of-Way. Section 4.40(3)(b) requires parking lot frontage must be screened from view from the right-of-way with a continuous landscape screen at least 3 feet in height or a 3-foot-high decorative screening wall. If a berm is proposed, a 1-foot high landscape screen is required. A berm is proposed along Belleville Road and Tyler Road, which includes several shrubs. We recommend that additional shrubs be included to create shrub rows except where there are sidewalk openings. Section 4.40(3)(b) also requires a minimum of 1 tree per 50 feet of road frontage. Based on the frontages of Belleville Road (326 feet) and Tyler Road (236 feet), 7 trees and 5 trees are required, respectively. The required trees are shown on the plans.*
- b. *Vehicular Surface Landscaping. Section 4.40(3)(d) requires the parking lot landscape area to be at least 5% of the paved area. According to Sheet LP, 1,664 sq. ft. is required and 1,690 sq. ft. of landscape area is provided. Each landscaped island must be at least 360 sq. ft. and must have at least 1 tree per 100 sq. ft. of landscape island area. Each landscape island area is at least 360 sq. ft. Although the landscape island on the east side of the site is labeled as 290 sq. ft., the part of the island area extending eastward across the proposed parcel line increases the area to above 360 sq. ft. We recommend that the required concrete curbing be installed and that the total area be shown on the plans for this landscape area. Based on the landscape island area of 1,690 sq. ft., 17 trees are required. There are 17 trees proposed, though not all are located in landscape island areas because 1 tree per 100 sq. ft. in these areas is prohibitive. While each landscape island includes at least 1 tree, the remaining required trees are dispersed along the perimeter of the parking lot.*
- c. *General Landscaping. Section 4.40(3)(a) requires 1 tree per 3,000 sq. ft. of landscaped open space. Sheet LP calculates 33,274 sq. ft. of open space, so 12 trees are required. The 12 trees are shown on the plans.*
- d. *Screening of Residential Districts. Section 4.40(3)(c) requires a continuous masonry wall or chain link fence with dense landscaping 6 feet in height, or a continuous landscape buffer strip no less than 25 feet wide, for lots adjacent to residential land uses. Because there is a*

residential zone and residential land use adjacent to the east side of the existing parcel, we recommend that this requirement be met even though a land division is proposed that would not make the proposed parcel non-adjacent to the residential lot to the east. Without this screening, the residential lot to the east will inevitably be impacted by the proposed gas station. We recommend that an evergreen vegetative screen be planted that exceeds the Zoning Ordinance requirements because it will be more cost-effective and sustainable than a fence or wall. If a vegetative screen is proposed, we recommend that it be accomplished with a staggered double row of 8-foot high evergreen trees spaced 15 feet on center along the entire eastern lot line of the existing parcel.

- e. Other Requirements. Underground irrigation is required and must be added to the plan. Although Sheet LP1 describes the irrigation to take place, the method and details must be on the plan. Finally, screening of all mechanical equipment must also be shown.

Response:

- a. See added shrubs on south side of canopy.
b. Curb is proposed.
d. We are providing extra 8' high evergreen screening on east side of property see LP. We hope this is an acceptable solution.
e. This will be provided on the detailed development. Speedway uses a design build for irrigation and will not be able to have this until the site is approved preliminarily and move to detailed construction plans?

8. *Comment:* Tree Removal Permit. A tree removal permit is required if the applicant proposes to remove any trees of 5" caliper or larger. Sheet CD notes 4 trees that will be removed, though there may be others proposed for removal that are not shown on the plans. The landscape plan must include a list of existing trees that are 5" caliper or greater that are proposed to be removed, as well as the required mitigation per Section 4.45(E) of the Zoning Ordinance. Replacement trees must be clearly labeled on the landscape plan and are in addition to the required landscape trees.

Response: See sheet CD for tree removal. (Total of 4 trees.)

9. *Comment:* Stormwater Pond. Sections 4.40(3)(o) and 4.56 of the Zoning Ordinance require basin vegetation, landscaping, and protective fence design features for stormwater basins. The trees and shrubs around the perimeter of the pond is shown on Sheet LP. Mosquito control measures for the pond must be addressed to the Planning Commission's satisfaction, and aeration should be specified. The pond must be surrounded with decorative fence unless other acceptable safety measures are approved by

the Planning Commission. Because the pond is near existing residential areas, we recommend that a continuous decorative fence be installed around the pond.

Response: N/A – underground detention.

10. **Comment:** *Lighting. The cut sheets of proposed lighting on the site and photometric plan were submitted, along with an illumination map and night rendering at the site. While most of the fixtures appear to be full cutoff fixtures, we recommend that all fixtures be full cutoff. We also recommend that the light fixtures near Belleville Road and Tyler Road be changed to a more decorative fixture. All lights will be mounted on 15-foot tall poles with a 2-foot concrete base, which is below the Zoning Ordinance maximum of 25 feet. All wall lighting is proposed to be directed downward as required. The light levels appear to be in compliance with the Ordinance, with little or no light trespass onto the neighboring sites.*

Response: **Speedway is open to a discussion on the style of lights the Township would prefer. Please provide examples if possible.**

11. **Comment:** *Architecture and Building Details, and DDA/Belleville Road Standards. The site is part of the Belleville Road downtown district of Van Buren Township, the primary business district and activity hub of the community. The Planning Commission has consistently required and high standard of design for new developments in this area, as reflected in the following comments. Additionally, this site is located at a primary corner and key transition point to the area of Belleville Road to the north, which is also envisioned in the future to be a Mixed-Use zoning district to include buildings with attractive facades and a consistent design along the entire corridor. Section 12.04 of the Zoning Ordinance requires sites zoned C-1 to meet the architectural standards of Section 11.05. The requirements of Section 11.05 and the standards of the DDA district are as follows:*
- a. Building Materials. Section 11.05(a) requires brick or another material of similar architectural quality and appearance to be the principal material for exterior building surfaces. Brick is proposed on all sides of the building and on the gas pump canopy columns.*
 - b. Roof Articulation, Projection, and Relief. Section 11.05(b) requires buildings to incorporate roof articulation, projection and relief, covered walkways into facades which include entrances or display windows. The principal building has a shingled, pitched roof to provide a better appearance. We recommend that the principal building include a reverse gable covered area over the building entrance. Also, there is a large ladder and staircase in the back on the building that will be visible from Tyler Road. We recommend that this ladder and staircase be screened from view and that security provisions be included on the plans to prevent trespassing. The gas*

pump canopy also has a singled, pitched roof. However, with 8 rows of pump stations, the proposed canopy will be one of the largest canopies in the region at over 190 feet in length. Because of the length of this canopy and its visibility from a signature corner in the Township, we recommend that the canopy include more articulation. For example, there is a gas station canopy at 400 Ann Arbor Road in Plymouth Township, MI that includes a building articulation feature over its canopy. We recommend that the applicants consider similar type of feature over its canopy to define the intersection corner and break up the long canopy roof.

- c. Outdoor Amenity Space. Section 11.05(d)(i) requires contiguous outdoor space, independent of sidewalks, pedestrian circulation areas and required landscaping, in an amount of at least 1 square foot for each 25 square feet of principal building, and in no case less than 250 square feet in total. Based on the 3,936 sq. ft. area of the building, 250 sq. ft. is required. Such space shall be illuminated, landscaped, visible from the building and adjacent right-of-way, separated from parking and motorized vehicular circulation and linked to the building, sidewalks and pedestrian circulation system by a series of walks and paths. On the south side of the principal building, there is an outdoor eating area at least 250 sq. ft. in size that includes tables and chairs is surrounded by a decorative fence. We recommend that the specifications of the tables, chairs, and fence be added to the plans.
- d. Enhanced Site Improvements. Section 11.05(d)(ii) requires enhanced, upgraded and improved fixed man-made and natural site improvements, including but not limited to seating, benches, tables, decorative fences, railings, low decorative brick walls, entrance structures and landscaping, decorative building and site lighting, brick paver walkways, sidewalks within large parking lots, "wet" ponds or other water features with aerating fountains, gazebo or pavilion structures, bicycle racks, litter baskets, decorative retaining walls, low hedges and additional planting beds and landscaped islands. In addition to the outdoor seating area noted above, a plaza area is proposed near the intersection of Belleville Road and Tyler Road similar to the outdoor plaza area on the southeast and southwest corners of this intersection. This area includes a brick wall and columns. The DDA has additional material standards for walls, so we recommend modifying the drawings to include any required materials. We recommend that the paved ground surface be composed of patio pavers or stamped concrete and that benches and trash cans be added to this area. We also recommend that additional side profile renderings be included to show how the landscaping and amenities will look. Finally, a bicycle rack is shown on Sheet CYE-A, but we

cannot find its location on the plans. We recommend that the bicycle rack be located near the building entrance.

Response:

- b. The new C4600 building will have a gable. See letter from Speedway regarding placement.
- c. See sheet CS2 for added details
- d. See sheet CS for bike rack area. Speedway open to continued conversation on the wall and amendment at the corner with the DDA.

12. **Comment:** *Dumpster. A dumpster is proposed for the northeast corner of the parking lot. The Zoning Ordinance requires dumpsters to be clearly accessible to servicing vehicles. The dumpster area proposed is not accessible because 3 parking spaces are located in front of the dumpster. Therefore, these spaces must be removed. The Zoning Ordinance also requires the dumpster enclosure to be 6 feet high or 1 foot higher than the dumpster (whichever is greater), composed of brick or decorative masonry material to match or complement the building, and be equipped with a steel-reinforced pressure-treated wood gate. The plans must be revised to show the required dumpster enclosure specifications.*

Response: See standard detail on CS2. Spaces have been removed.

13. **Comment:** *Signs. There are several signs proposed on the site, subject to the individual regulations of the sign ordinance (Section 4.23 of the Zoning Ordinance) as described below:*

- a. *Maximum Total Sign Area. Section 20.409(4)(a) of the Zoning Ordinance allows 1 square foot of total sign area per linear foot of lot frontage up to 200 feet, and 0.25 square feet of additional sign area per linear foot of lot frontage over 200 feet, subject to the individual restrictions for wall signage, monument signage, and canopy signage (below). The site has approximately 320 feet of frontage along Belleville Road and 280 feet on Tyler Road, which allows for 230 square feet of sign area along Belleville Road and 220 square feet of sign area along Tyler Road. Again, the sign area of the site is restricted by the limitations for wall signage, monument signage, and canopy signage, below.*
- b. *Wall Signs. Section 20.409(4)(b) of the Zoning Ordinance allows 3 square feet of wall sign area per linear foot of building frontage, not to exceed 200 square feet. The linear footage of the building is 82 feet on the west side and 48 feet on the south side, so the building may have up to 200 sq. ft. of sign area. A total wall sign area of 50.92 sq. ft. is proposed. However, this calculation excludes the proposed wall sign on the south side of the building, so this calculation must be updated.*

- c. *Monument Sign. Section 20.409(4)(b) of the Zoning Ordinance allows for 1 monument sign not to exceed 8 feet in height, which may be 60 sq. ft. for lots with a frontage of between 200-400 feet. The proposed monument sign is 7 feet, 8 inches high including the base, and is the only monument sign proposed. However, the monument base must be increased to at least 2 feet in height. Although the current version of the Zoning Ordinance allows 1 monument sign for the lot, there is a proposed amendment to the Zoning Ordinance that will allow 1 monument sign per frontage if the monument sign is not located near and oriented to 2 or more abutting streets. The maximum monument sign height and area would remain the same under the proposed Zoning Ordinance amendment. Therefore, in order to keep the corner of Belleville Road and Tyler Road more pedestrian-friendly while allowing better visibility of the business to traffic, we recommend that the monument sign at the corner be removed and that 1 monument sign be proposed near each driveway to the site. However, if the proposed amendment to the Zoning Ordinance is not adopted, only 1 monument sign will be permitted.*
- d. *Canopy Sign. Section 20.409(4)(g) allows up to 40 sq. ft. of sign area for a canopy. A total sign area of 192.34 sq. ft. is proposed on the canopy, so this area must be reduced. As stated above, more sign area may be placed on the building.*

Response:

- b. **Ok. We are still under 200 SF with the added 40 SF reader board.**
- c. **See updated detail indicating 2' sign base. See sheet SS for new sign locations. Speedway is willing to work with the Township on providing just one sign at the SW corner of the property if the township feels that will better align with the zoning ordinance under which we are applying.**
- d. **See sheet SS for updated canopy signage.**

Should you have any further questions or requests for additional information pertaining to this project review, please contact me at 317-846-6611.

Sincerely,



Eric Carter, R.L.A.
Project Manager, Commercial Development



WADE TRIM

April 21, 2017

Charter Township of Van Buren
46425 Tyler Road
Van Buren Township, MI 48111

Attention: Ms. Carol Thompson, Chairperson
Van Buren Township Planning Commission

Re: Speedway
Preliminary Site Plan Approval

Dear Ms. Thompson:

At your request, we have reviewed the preliminary site plan package received digitally by our office on April 14, 2017 for the proposed gas station located on Belleville and Tyler Road in Van Buren Township. The Project involves the construction of a 3,936 SF building and gas pumps with supplemental parking. We have the following comments to offer in regard to the major engineering components of this project:

General

It is our understanding that the construction of the Tyler Road drive approach will be implemented with all necessary easements and agreements for work being performed outside of the subject property. It is also our understanding that a portion of the DDA property along Belleville Road will be purchased by the Developer in order to satisfy Wayne County road right-of-way requirements.

Water Main

The Developer is proposing a new hydrant on the east side of the proposed building to provide adequate fire coverage for the site. The ultimate water source for the site shall be from an existing 12-inch public water main along Tyler Road. The building will be serviced with a 2-inch domestic water service.

Sanitary Sewer

Sanitary service for the building will ultimately outlet to an existing 12-inch sanitary sewer along Belleville Road.

Storm Water Management

An underground detention system and mechanical pretreatment device have been proposed for site storm water management, sized in accordance with the Wayne County Storm Water Ordinance and Van Buren Township Storm Water Storage Standards.

Wade Trim Associates, Inc. 734.947.9700
25251 Northline Road 800.482.2864
P.O. Box 10 734.947.9726 fax
Taylor, MI 48180 www.wadetrim.com



Site Layout/Paving/Grading

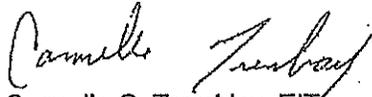
Site access is provided from both Belleville Road and Tyler Road, with shared access drives provided to both the north and east property limits to accommodate future development in this area. The entire paved area is curbed and parking stalls double striped. Overall, the site layout is conducive to vehicular and pedestrian circulation.

Recommendation

We are recommending that the Planning Commission grant preliminary site plan approval at this time. The Developer should be aware that, following preliminary approval, a detailed engineering review will be required as a prerequisite to final site plan approval. If you have any questions regarding this review, please contact our office at 734.947.2793.

Very truly yours,

Wade Trim Associates, Inc.


Carmelle G. Tremblay, EIT


David M. Nummer, PE

DMN:CGT:ka
VBN 1000-17T
20170421Thompson.docx

cc: Mr. Ron Akers, Director of Planning and Economic Development
Mr. Mathew Best, Deputy Director of Planning and Economic Development
Mr. James Taylor, Director of Public Works

WEIHE
ENGINEERS

Land Surveying | Civil Engineering
Landscape Architecture

"Build with confidence."

March 14, 2017

Mr. David Nummer
Charter Township of Van Buren
46425 Tyler Road
Belleville, MI 48111

RE: Speedway,
Site Plan Review #1

Dear Mr. Nummer:

This letter is in response to your comment dated February 27, 2017 for the above referenced project. We have prepared the following responses to the plan review comments listed below.

General:

1. **Comment:** *The following notes should be provided on the plans:*
- *All construction shall conform to the current standards, specifications, and general conditions of Van Buren Township.*
 - *The Developer is responsible for resolving any drainage problems on adjacent properties which are the result of the Developer's actions.*

Response: **See sheet CV for added notes.**

2. **Comment:** *We request that a list of required permits be provided on the plans. The list shall include, but is not limited to, the following:*
- *Wayne County Department of Public Services right-of-way permit*
 - *Wayne County Department of Public Services storm water permit*
 - *Wayne County Department of Environmental Services Soil Erosion and Sedimentation Control permit*
 - *Underground Storage Tank Permit*

The National Wetlands Inventory indicates a wetland north of the proposed site. We request the wetland boundary be outlined on the plans to ensure there is no work being proposed within its limits, or a statement be provided on the plans indicating a survey was performed and no wetlands exist on-site.

Response: **See sheet CV for added notes. The "wetland" is near the middle of the site in a lower part approx. 50' north of the purchase property.**

3. **Comment:** *We request that an overall future development plan be provided which*

includes all property lines and the planned future build out of the property. Any development on properties outside of the subject property will require the proper easements and agreements to be implemented.

Response: At this time it is unknown of the future offsite plans. Please see sheet CV for lot details. Speedway is only purchasing a portion of the parent parcel(s) and does not intend to develop the remainder.

4. **Comment:** *The property line as shown on the plans is not accurate in the following areas:*
- *A triangle of property at the corner of Belleville and Tyler is part of the right-of-way, where the sidewalk turns;*
 - *27 feet along Belleville Road is DDA property and should not be shown as Wayne County right-of-way. The proposed road improvements (taper) will not be permitted on DOA property.*

The property description and corresponding property lined should be shown accurately.

Response: The surveyor indicated this triangle as right-of-way. See survey and sheet CS. Speedway intends to purchase the 27' along the property and provide ROW to Wayne Co. length. See Sheet CS1.

Water Main:

1. **Comment:** *A separate fire line is required in all commercially zoned districts in Van Buren Township. A hydrant must be located within 100 feet of the FDC.*
- Response:** See added hydrant on sheet CU SE of Bldg. Does this mean the Bldg needs to be sprinkled?
2. **Comment:** *The entire proposed building must be within 250 feet of a hydrant as the hose lies in commercially zoned areas. The north and east sides of the building are not within this radius.*
- Response:** See added hydrant as sheet CU, SE of Bldg.
3. **Comment:** *A minimum of 10-foot horizontal clearance should be provided between the water service and other underground utilities.*
- Response:** Ok.

Sanitary Sewer:

1. **Comment:** *The sanitary lead is currently proposed at 317 feet long. The maximum length of sanitary lead in Van Buren Township is 200 feet, and therefore, we recommend the Designer review the possibility of a closer connection.*

Response: After review and due to underground detention, we feel the current location works better.

2. **Comment:** *The sanitary lead currently appears to be within the required 15-foot buffer strip of the detention basin. We recommend the lead be shifted at least 15 feet from the top of bank of the pond.*

Response: N/A

Storm Water Management:

1. **Comment:** *The Designer has proposed an open detention basin with a mechanical pre-treatment device for site storm water management. We have the following comments to offer regarding the detention basin:*
- *Dry ponds are not permitted within Wayne County, and a 4-foot permanent pool will be required. The volume within the permanent pool does not count toward overall storage;*
 - *The entire pond, including the permanent pool, shall have no greater than a 1V:6H slope;*
 - *A 15-foot buffer strip with 1V:6H slopes will be required, measured from the freeboard of the pond;*
 - *We request the Designer show and label the stage storage contours of the pond on the plans;*
 - *The storage calculations provided in the storm water technical report show approximately 9,000 CF of storage provided, which is about half of what is required. With the storage requirement doubled, the addition of a permanent pool and buffer strip, we feel that the size of the pond will change significantly;*
 - *The C-value of the off-site drainage area corresponds with pervious area; however, it appears the Developer may be planning to build out this property. The Developer should be aware that any additional development of the property will require additional storm water management, and it may be beneficial to consider sizing the proposed pond for future development as well;*
 - *An overland overflow or overflow pipe sized for the 10-year storm should be provided in the event of an emergency storm situation. We recommend the Designer consider this in the preliminary design of the detention basin.*

We request the Designer re-design the basin in compliance with the Wayne County Storm Water Ordinance, as well as the Van Buren Township Storm Water Management Standards. The required calculations can be found as follows:

- *Chapter 6 of the Wayne County Storm Water Management Standards (<http://www.waynecounty.com/doe/standards-manual.htm>)*
- *Chapter 6 of the Van Buren Township Engineering Standards Manual (<http://vanburen-mi.org/wp-content/uploads/2013/08/2014-04-VBT-Engineering-Standards-Manual.pdf>)*

Please note that Van Buren Township requires a more conservative allowable outflow ($Q_a = 0.1$ CFS/acre) than Wayne County. We respectfully request the Designer provide the above-referenced calculations on the plans;

Response: **Underground detention is proposed following Chapter 11 as required by Wayne Co and restrictions required by the Township.**

2. *Comment:* *Roof downspouts appear to be directed directly into the detention pond. The downspouts should be connected to the storm sewer system upstream of the mechanical pre-treatment device so that all water is treated before being detained.*

Response: **Please see revised.**

Site Layout/Paving/Grading:

1. *Comment:* *Three parking stalls are proposed directly in front of the trash enclosure. This will not allow for feasible trash pickup, and the spaces should be removed or striped as necessary.*

Response: **See updated sheet CS.**

2. *Comment:* *Proposed storm sewer on the north side of the site is very close to the proposed underground fuel tanks. We recommend that a minimum of 10-foot horizontal clearance be provided between any underground utilities and the proposed gas tanks.*

Response: **This has been fixed.**

3. *Comment:* *The proposed drive approach on Tyler Road should align with the existing approach on the south side of the road. In addition, both proposed drive approaches should include a right-turn lane, left-turn lane, and an ingress lane.*

Response: **It does align with the Meijer drive. See added turn lanes, Sheet CS.**

4. *Comment:* *The access road which extends to the North property line is not proposed for ideal circulation. The access will be blocked in any case where stacking is required to exit at the west drive approach. We recommend this access be redesigned to allow for proper circulation in this area.*

Response: **We shifted the site North to allow for at least 2 car stacking.**

5. **Comment:** *We request the proposed contours be labelled on the plans. It appears that water is draining off-site on all sides of the site. The site should be graded so that all storm water run-off remains on the property and is treated through the storm water management system.*

In addition, Belleville Road drains toward the site in this area (from the centerline), and raising the site will cause ponding to occur on DOA property. The Designer should review this area and either regrade the site to avoid ponding or provide a drainage system to pick up any water within Belleville Road.

Please note that "Grading Note" #2 on Sheet CG references Indiana Department of Transportation and does not apply here.

Response: **See sheet CG for added labels and updated grading.**

Should you have any further questions or requests for additional information pertaining to this project review, please contact me at 317-846-6611.

Sincerely,



Eric Carter, R.L.A.
Project Manager, Commercial Development

David C. McNally II
Fire Marshal
O: 734-699-8900 ext 9416

Van Buren Fire Department
46425 Tyler Rd
Belleville, MI 48111



Department Building and Planning
46425 Tyler Road
Belleville, MI 48111

Re: Speedway
Belleville & Tyler Road

16-037

To whom it may concern:

I have reviewed a set of site plans drawn and submitted by Speedway Engineering and Construction Dept. Enon OH 45323 received 4/19/2017

Project Overview:

The proposal is to build a gas station at the corner of Belleville & Tyler Rd in Van Buren Township. The plan set was reviewed for Fire and Life Safety using the township adopted fire code NFPA 1 and NFPA 101 2012 editions.

Again, please note that **all** applicable **NFPA** codes and standards apply as adopted by the Township of Van Buren. These should be referenced before moving forward with this project.

1. Landscaping material such as trees and scrubs shall not be planted within 6ft. of the fire hydrant located on the south-east side of proposed building. This is to maintain a 36" clearance for future growth of such material.
2. Knox-Box will need to be ordered and installed by owner where fire department indicates prior to occupancy. www.knoxbox.com

NFPA 1 16.3.4.3

Our Mission: The members of the Van Buren Fire Department shall work together in a professional and caring way to protect life and property from the adverse effects of fire, trauma, illness and dangerous conditions. Our services will be provided in a fair, honest, and ethical manner with the highest respect and dignity to all.

3. The building shall include the building address on the building or the road sign at the corner of Belleville and Tyler. The address shall be a **minimum of 6"** high letters of contrasting colors and be clearly visible. The location and size shall be verified prior to installation.

AHJ

4. **A digital site plan layout will be required at final inspection.**

AHJ

The fire department requires involvement in the continuing plan review, inspection, and Certificate of Occupancy process and will require various inspections during the construction phases and immediately prior to opening to verify compliance with the appropriate codes. One set of as built construction drawings, schedules, and details, as it relates to construction, fire protection and response, will be required, as well as a **digital cad layout** of the building by this department prior to our final C of O inspection.

Review and approval by the Authority Having Jurisdiction shall not relieve the applicant of the responsibility of compliance with these codes.

If you have any questions about this plan review report, please feel free to contact me

Respectfully submitted,



Shawn Bell
Fire Inspector
Van Buren Fire Department



March 7, 2017

Mr. David McNally
Van Buren Fire Department
46425 Tyler Road
Belleville, MI 48111

RE: Speedway,
Belleville & Tyler Road
16-037

Dear Mr. McNally:

This letter is in response to your comment dated February 13, 2017 for the above referenced project. We have prepared the following responses to the plan review comments listed below.

General:

1. **Comment:** *Knox-Box will need to be ordered and installed by owner where fire department indicates prior to occupancy. www.knoxbox.com*
Response: **This will be detailed out on the Building plans during technical permitting after Preliminary approval.**
2. **Comment:** *The building shall include the building address on the building or the road sign at the corner of Belleville and Tyler. The address shall be a minimum of 6' high letters of contrasting colors and be clearly visible. The location and size shall be verified prior to installation*
Response: **This will be detailed out on the Building plans during technical permitting after Preliminary approval.**
3. **Comment:** *A digital site plan layout will be required at final inspection.*
Response: **Noted. This will be supplied as requested.**

Should you have any further questions or requests for additional information pertaining to this project review, please contact me at 317-846-6611.

Sincerely,

A handwritten signature in cursive script that reads 'Eric A. Carter'.

Eric Carter, R.L.A.
Project Manager, Commercial Development

March 9, 2017

Ron Akers, AICP
Director of Planning & Economic Development
Charter Township of Van Buren
46425 Tyler Road
Belleville, Michigan 48111

Subject: Examples of Gas Stations with Unique Designs

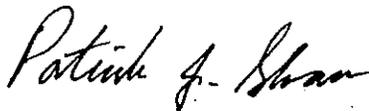
Ron:

At the Staff Review meeting for Speedway on March 6, 2017, the applicants requested examples of existing gas stations that are more consistent with the design guidelines of the Belleville Road corridor. Although the design guidelines do not address gas stations specifically, the guidelines require superior design and compatibility with the vision of the corridor. The attached 5 examples of gas stations (including Michigan examples) reflect unique design that is representative of their areas. At the same time, these gas stations have convenient vehicle access and signage for customers. All 5 examples have covered canopies that are visible from the road.

In consideration of site layout, we recommend that the Township request documentation from Speedway's corporate representatives that they have reviewed and considered these alternative layouts. Additionally, it may be prudent to request that the applicant provide economic and safety analyses if they contest alternative design layouts.

If you have any follow-up questions or would like to see additional examples, please let us know.

Respectfully submitted,
McKENNA ASSOCIATES



Patrick J. Sloan, AICP
Senior Principal Planner

cc: Matt Best, Deputy Director of Planning & Economic Development
Paul Lippens, AICP, Director of Transportation and Urban Design, McKenna Associates

Example 1. Kroger Gas Station in St. Clair Shores, MI

Location. 23717 Jefferson Ave. (southwest corner of Jefferson Ave. and E. 9 Mile Rd.)



Source: Google Maps

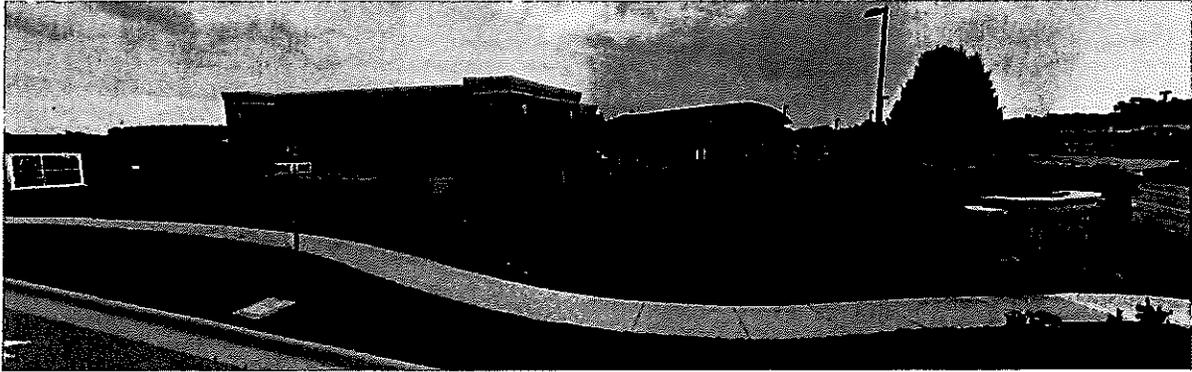
Example 2. Sunoco Gas Station in Cannonsburg, MI

Location. 8000 Cannonsburg Rd. (southwest corner of Cannonsburg Rd. and Honey Creek Ave.)



Source: Google Maps

Example 3. Marathon Gas Station in Springboro, OH
Location. 2 Remick Blvd. (northeast corner of Main St. and Remick Blvd.)



Source: Google Maps

Example 4. Circle K Gas Station in Daniel Island, SC
Location. 901 Island Park Drive (southeast corner of Island Park Dr. and River Landing Dr.)



Source: Google Maps

Example 5. Shell Gas Station in Rockville, MD

Location. 700 Gaither Road (southwest corner of Gaither Rd. and Redland Blvd.)



April 12, 2017

500 Speedway Drive
Enon, OH 45323
Telephone 937-864-3000

Mr. Ron Akers
Director of Planning & Economic Development
Charter Township of Van Buren
46425 Tyler Road
Van Buren Township, MI 48111

Re: Response to Alternative Gas Station Examples

Dear Mr. Akers,

Please accept our response to the letter with subject "Examples of Gas Stations with Unique Designs" dated March 9, 2017. We appreciate that Van Buren Township and McKenna Associates took the time to assemble these examples for our review. It is our desire to work with the Township in creating a site that contributes to the aesthetic of Belleville Road, while also supporting Speedway's need to maintain economic competitiveness and brand recognition.

For reference, please see Figures 1 and 2 which show the front (west facing) and left side (north facing) elevations of the proposed canopy, respectively. These are for comparison with to Figures 3 and 4, which show the same elevations of the typical Speedway canopy design.

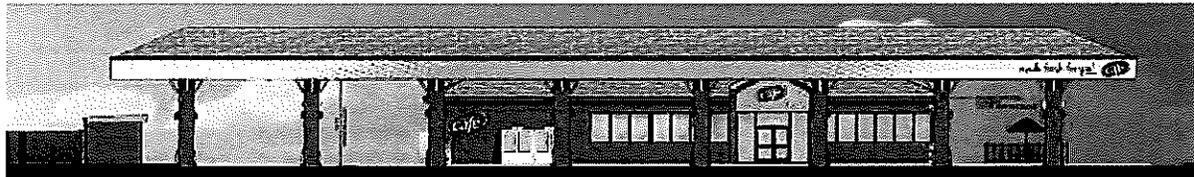


Figure 1: Front Elevation of Proposed Van Buren Speedway Development

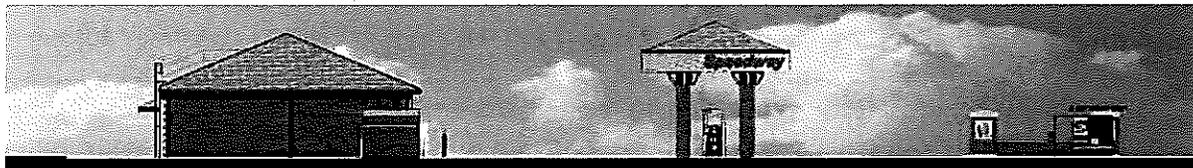


Figure 2: Left Elevation of Proposed Van Buren Speedway Development

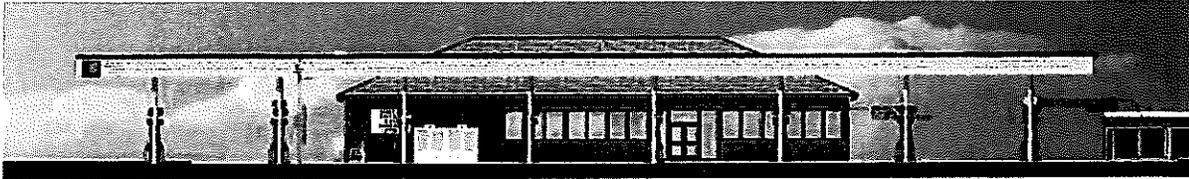


Figure 3: Front Elevation of Standard Speedway Design



Figure 4: Left Elevation of Standard Speedway Design

The Speedway fueling and convenience center proposed for Van Buren Township is an upgraded program that includes many enhancements of our standard retail store and canopy design consistent with the planning concepts of the draft Belleville Road Overlay District:

- Speedy Café offering made-to-order food
- Outdoor seating area suitable for consumption of food and beverages
- Natural red-brown brick trash enclosure
- Canopy columns faced full-height in natural red-brown brick
- Mansard-style canopy roof that complements building architecture and creates a building-like massing near the street
- Enhanced building signage package
- Enhanced canopy signage package
- Monument sign height well below maximum height permitted
- Decorative screen wall incorporating Van Buren Township logo
- Enhanced landscaping (not shown above for clarity)
- Addition of a public sidewalk along Tyler Road, extending to eastern boundary of proposed land division (not visible above)
- Bicycle parking near building entrance

Respectfully, we find that our proposed design is superior to the examples identified in the McKenna letter. As shown by the street view images of Examples 1 and 3, a rear facing building results in the back of the building being the most visible area to the intersection. We find this visually unappealing, as the back of the building does not allow for transparent windows, as illustrated by Example 3, and must accommodate utilitarian components such as an HVAC unit and air vents.

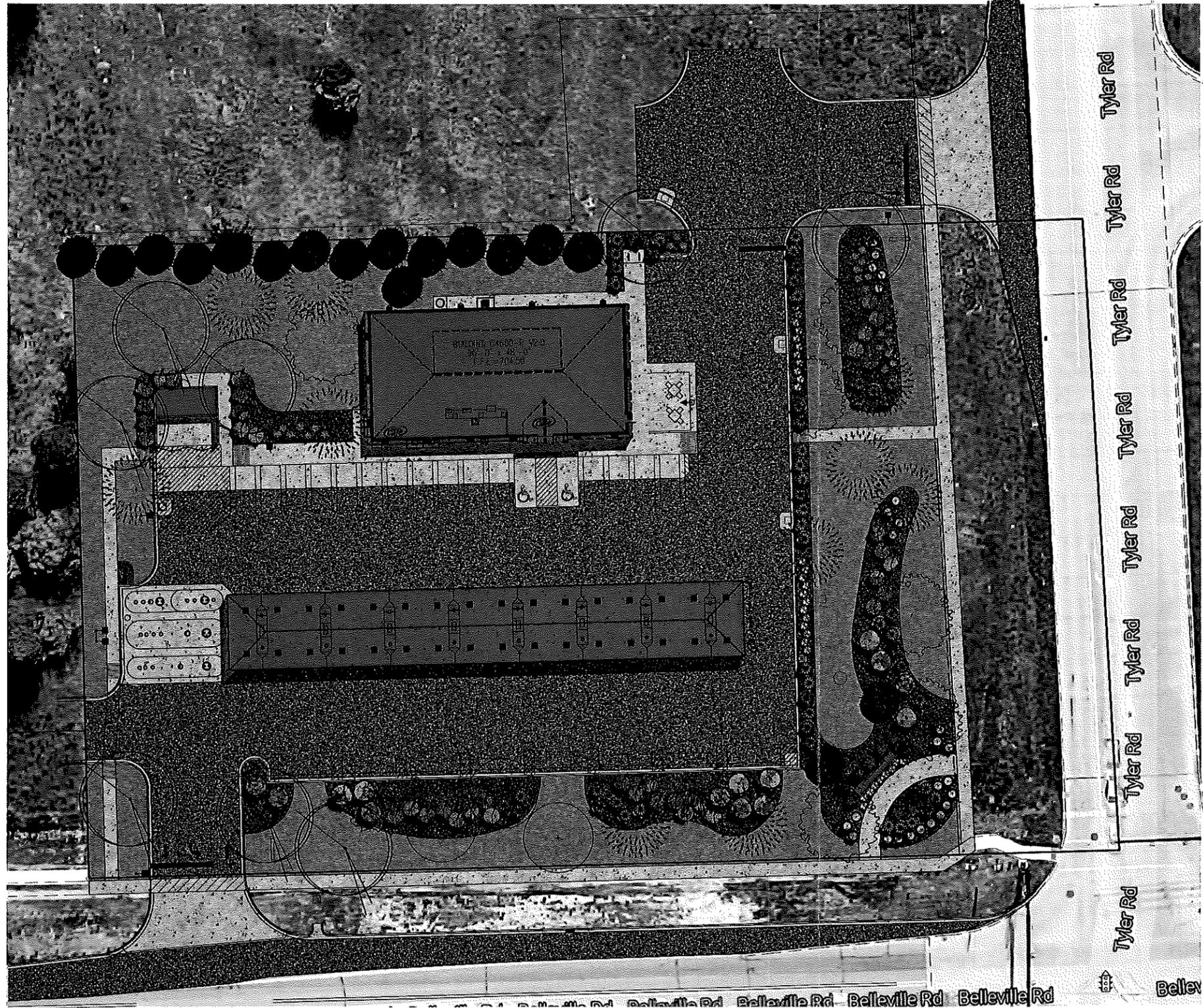
Further, we firmly believe that placing the canopy behind the building negatively impacts sales. Our business generally results from “capturing” drivers as they pass by a site. Drivers typically do not go out of their way to drive to a gas station. As such, we have found that our dispenser canopy needs to be the most clearly visible portion of our site. This is because customers are more likely to stop for fuel if they can see our canopy. As shown by Examples 3 and 4, placing the building at the front of the

property makes it much harder to see the canopy. A driver may not see the dispenser canopy until they have passed the approach, and therefore will not have had time to decide to stop.¹

For these reasons, we believe that Speedway's plan for a dispensing canopy with a roof line that complements the mansard roof of the principal building and creates a building-like structure near the Belleville Road both meets the Township's planning goals while supporting Speedway's need to operate a successful business in a competitive market place, and thereby advances the Township's overarching goal of creating an attractive and economically vibrant business corridor. We therefore respectfully maintain the need to place the principal building to the east of the canopy, as shown on the proposed site plan.

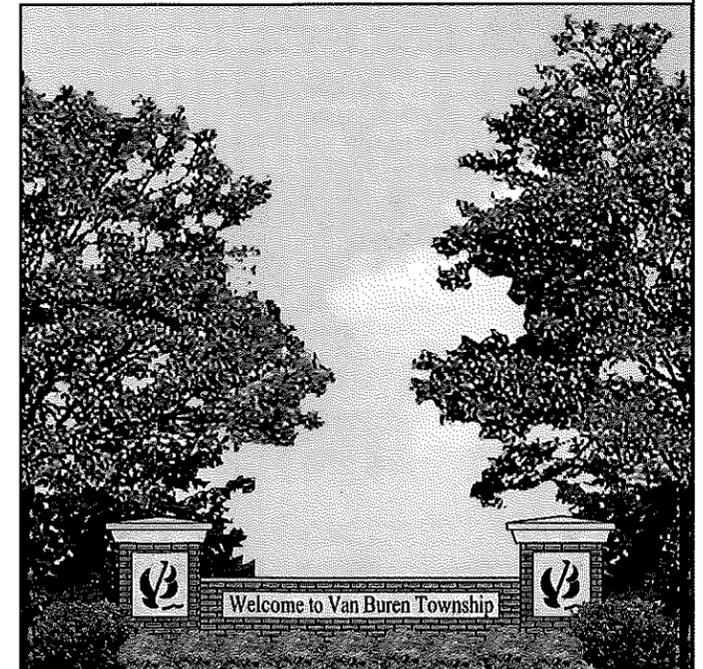
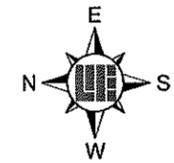
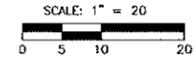
Thank you,
Andrew Salt
Project Manager
Speedway LLC

¹ The examples provided by McKenna illustrate this point. In each case, the driveways to the facility are located such that the canopy is visible to approaching drivers, allowing them the opportunity to see the canopy and react before passing. A canopy behind the proposed Van Buren Township facility will not afford the same views and reaction time opportunity.



Speedway 100866
Van Buren

Date: 2017-4-14



Wall and Columns at Southwest Corner Elevation Illustration

WEIHE
ENGINEERS

16505 N. College Avenue
Indianapolis, Indiana 46280
weihe.net
3171846-6611

MEMORANDUM

TO: Charter Township of Van Buren Planning Commission

CC: Ron Akers, Director of Planning & Economic Development
Matt Best, Deputy Director of Planning & Economic Development

FROM: Patrick Sloan, AICP, Senior Principal Planner

SUBJECT: Zoning Ordinance Public Hearing

DATE: March 2, 2017

Introduction. At the September 28, 2016 Planning Commission meeting, we discussed the ongoing updates to the existing Zoning Ordinance and proposed a series of meetings to review all of the proposed articles. So far, the following 5 meetings have been held:

- **Meeting 1 (October 12, 2016):** Review of Article 12 (Administrative Procedures), Article 13 (Administrative Organization), and Article 14 (Nonconformities).
- **Meeting 2 (October 26, 2016):** Review of Article 3 (Zoning Districts and Permitted Uses), Article 4 (Schedule of Regulations), and Article 5 (Development Standards for Specific Uses).
- **Meeting 3 (November 9, 2016):** Review of Article 8 (Environmental Performance) and Article 10 (Landscaping and Screening).
- **Meeting 4 (December 14, 2016):** Review of Article 9 (Parking, Loading, and Access Management) and Article 11 (Signs).
- **Meeting 5 (January 11, 2017):** Review of Article 6 (Supplemental Zoning District Standards) and Article 7 (General Provisions)
- **Meeting 6 (February 8, 2017):** Review of Article 2 (Definitions), Mixed-Use (M-U) District in Article 3, and Belleville Road Overlay District (BROD) in Article 6.

At the conclusion of the meeting on February 8th, the Planning Commission determined that the Zoning Ordinance was ready for a formal public hearing and scheduled the public hearing for March 8th. Throughout our meetings, the Planning Commission asked many great questions and made several changes to the draft Zoning Ordinance. In addition to many minor changes that have been made, the following major changes have been incorporated into the draft Zoning Ordinance dated February 16, 2017:

- In **Section 3.118(D)(1)**, additional standards were added to the Airport (AP) District to allow administrative review for certain activities at a public airport (i.e., Willow Run Airport). The proposed changes are intended to expedite plan review at Willow Run Airport to encourage additional economic development.
- In **Section 6.308(A)(3)**, additional text was added to allow the Planning Commission to increase or decrease the number of required bicycle parking spaces in the Belleville Road Overlay District based on expected demand and available areas lot locate bicycle parking. This will allow the Planning Commission the flexibility to adjust the standard on a site-by-site basis.
- In **Section 3.120**, the newly-adopted Belleville Lake Shoreline Districts was added.
- In **Section 3.119(F)**, the build-to line along major roads in the Mixed-Use District was increased from 55 feet to 65 feet to allow for the required 10 feet of landscape area between the sidewalk and the parking lot.

- The **Country Club** land use has been provided its own definition in **Article 2**, removed from the list of uses that include Outdoor Recreation, Private Parks, Gun Clubs, and Golf Driving Ranges in **Section 5.132**, and added as a Special Land Use in the R-1A, R-2A, R-1B, and R-1C districts in **Sections 3.104** and **3.106**. Please note that if a Country Club includes any other use (such as a golf course), it will also be subject to the standards of that other use.
- For **Planned Residential Developments (PRD's)**, **Section 6.209** has been modified to require the paving of the access road to be complete within 2 years of construction commencement or prior to the issuance of building permits for 80% of the dwelling units in the PRD, whichever occurs first. In **Section 6.220**, a new phase shall not commence until the preceding phase has been completed. These 2 changes will prevent some of the problems of the past when the developer would begin new phases without fulfilling his obligations to complete work required in the prior phases.
- In **Section 7.203(C)(2)**, provisions were added to allow open decks, paved terraces, and patios at or below the finished first floor level of the building to encroach up to 6 feet into the required front yard setback area. Although a railing and roof are also permitted, the roof may not be higher than the first story and shall not encroach more than 6 feet into the setback. This will allow older subdivision homes built at the front yard setback line (e.g., Haggerty Sub), to have a small open front porch.
- In **Section 5.116(D)**, the maximum number of attached single-family dwelling units permitted in a single building was reduced from 10 to 6. This will break up long stretches of building and provide a better appearance of a neighborhood. Because buildings with more than 6 attached units are rare in the current housing market, the proposed change will not discourage development.
- In **Section 7.207** (Solar Energy Systems) and **Section 7.208** (Wind Energy Systems), these 2 uses were put into their own sections because of their unique characteristics. Additionally, standards were added that prohibit these systems from interfering with aircraft communications systems or navigation equipment. These regulations are common and are even recommended by the solar and wind energy industries.

We look forward to the public hearing at the March 8, 2017 Planning Commission meeting.



Memo

DATE: April 21, 2017

TO: Planning Commission

FROM: Ron Akers, AICP – Director of Planning & Economic Development

RE: New Zoning Ordinance Adoption

Please note that I have provided digital copies of the proposed Zoning Ordinance because the document is 350+ pages long. Should anyone require a hard copy of the proposed Zoning Ordinance please contact me and I will make arrangements.



Memo

DATE: April 21, 2017
TO: Planning Commission
FROM: Ron Akers, AICP – Director of Planning & Economic Development
RE: Hampton Inn Amendment to Modify the Exterior Elevation of the Building.

Summary:

The Hampton Inn which is located at 46280 North I 94 Service Drive (west of Belleville Road) has applied for approval to make a few minor modifications to their existing building. The proposed improvements include the installation of manufactured stone along the exterior of the first story of the building, a fresh coat of paint on the exterior of the building, landscaping improvements at the entrance to the building, and the replacement of the concrete pad at the main entrance to the building.

Zoning Requirements:

The Township's Zoning Ordinance requires that the applicant provide, "*Front, rear and side elevations of proposed buildings and proposed type of building materials, roof design, projections, canopies and overhangs, screen walls and accessory buildings, and any other outdoor mechanical equipment, i.e., air conditions, heating units, etc.*" as part of the required information for site plan approval.

In addition to this the Zoning Ordinance grants specific authority for the Planning Commission to review and approve elevations in the C zoning districts by stating, "*For all uses permitted a C District, a site plan shall be submitted to the Planning Commission and no building permit shall be issued until after the Planning Commission has reviewed and approved the site plan in accordance with Section 4.31. In addition to the criteria set forth in Section 4.31 (c) the Planning Commission shall reject any site plan which does not meet the following criteria:*

- a. *Brick or another material of similar architectural quality and appearance as determined by the Planning Commission, shall be the principal material for exterior building surfaces.*
- b. *Buildings shall incorporate roof articulation, projection and relief, covered walkways into facades which include entrances or display windows or which are adjacent to parking or visible from rights-of-way."*

Based on these above sections of the Zoning Ordinance, the Planning Commission has the authority to review and approve the elevations of commercial buildings.

For new buildings, the Zoning Ordinance requires brick or a similar material to be a primary material used for the exterior of the building. The Township encourages existing buildings to meet the current standards in the Zoning Ordinance, but it is not fully required in every circumstance. This proposal

would move the elevation to be closer in compliance with the requirement of the Zoning Ordinance. While the modifications are fairly minor in nature, the Planning Commission will still need to review and approve them as they are tied to the existing site plan reviewed for the property.

Proposed Elevation

The proposed changes to the building include the removal of the EIFS on the exterior portion of the first story of the building and replacing it with a manufactured stone exterior. As mentioned above, the Zoning Ordinance requires that the principal elevation material for buildings in the C districts. While the principal material of this building will still be EIFS, this action brings the exterior of the building more closely into compliance with the current Zoning Ordinance standards. The stone and the paint will be earth toned and be consistent with the color patterns on the adjacent hotels. Due to the applicant bringing the building closer into compliance with the existing zoning standards staff has no issues with this request.

Landscaping Improvements

Several of the changes to the landscaping are not landscaping items which are covered by the Township's Zoning Ordinance. The one exception to that is the proposed removal of the trees along the western edge of the property. There is no information on the site plan for the type of trees to be removed nor is there any information regarding the size of trees to be removed. I have verbally spoken to the applicant and he has indicated that the trees to be removed are trees which are either dead or diseased. If this is the case the trees are exempt from the tree removal provisions of the Zoning Ordinance. Staff recommends that the Planning Commission require that a note on the site plan which describes the condition of the trees.

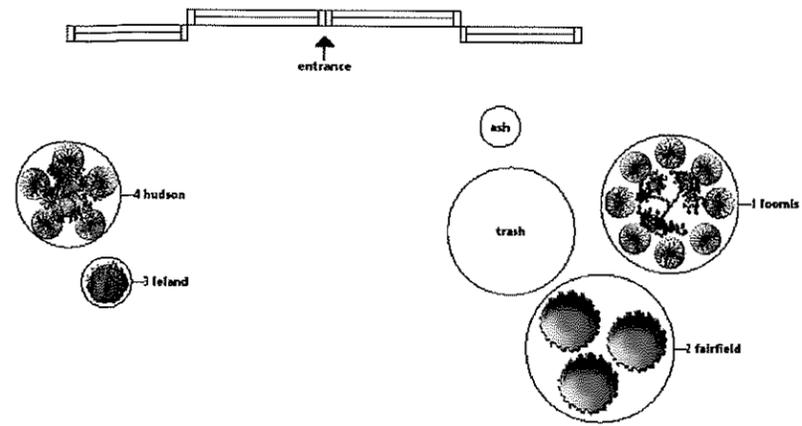
Recommendation:

Staff recommends that the Planning Commission approve the request to amend the approved site plan for the property at 46280 N. I 94 Service Drive, in order to allow the applicant to modify the existing building elevations as depicted on the proposed concept drawings dated April 12, 2017. Approval shall be conditioned on the applicant revising the current landscaping plans to add a note which describes the condition of the trees which are to be removed.

fall/winter zones 1-7
full sun – plant selections

| | planting specifications | planting options |
|---|--|--|
| small (up to 1/2) bare potted plants or trees | planter location: Hudson & Loomis quantity needed: (12) - 6" pots or (10) - 4" pots | kale mulch |
| small bushes | planter location: Hudson quantity needed: (1) - 5 gallon | pitospiraea shrub enzpradagon |
| small bushes | planter location: Leland quantity needed: (1) - 5 gallon | boxwood shrub euonymus bush |
| medium sized bushes | planter location: Fairfield quantity needed: (2) - 5 gallon | mounding juniper blue star juniper green mound juniper |
| tall narrow bush straight or spiral | planter location: Loomis quantity needed: (1) - 7 gallon | spiral juniper spartan juniper spearhead juniper |

fall/winter zones 1-7
full sun – planting diagrams



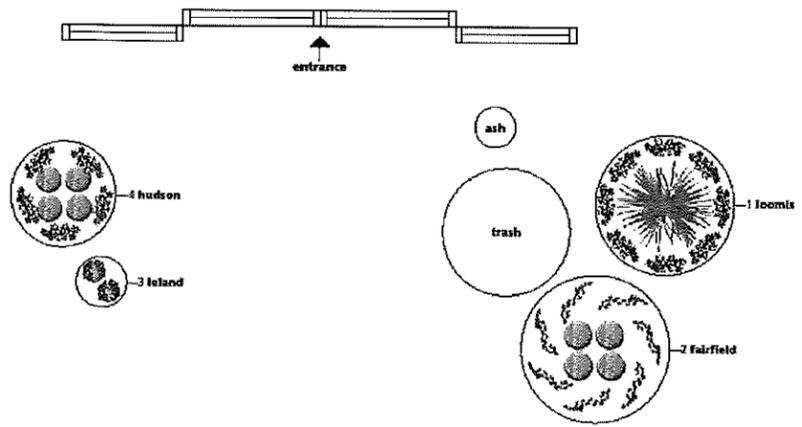
Legend
 small bushes (1)
 low/spreading bushes (2)
 small colorful base plantings (13)
 small bushes (1)
 tall/narrow bushes straight or spiral (1)

All plants in diagrams are preferred plantings. If alternates are needed, please refer to previous page.

spring/summer zones 1-7
shade – plant selections

| | planting specifications | planting options |
|------------------------|---|---|
| low flowering plants | planter location: Hudson & Loomis quantity needed: (12) - 4" pots | impatiens (bright) catadium coleus |
| small flowering plants | planter location: Leland quantity needed: (7) - 4" pots or (8) - 6" pot | alysium lobelia |
| tall flowering plants | planter location: Fairfield quantity needed: (7) - 4" pots | sweet potato vine (trailing) vinca vine |
| large flowering plants | planter location: Hudson quantity needed: (8) - 6" pots | begonia (bright) catadium coleus |
| large grass/bush | planter location: Loomis quantity needed: (1) - 5 gallon or (2) - 1 gallon | green fountain grass purple fountain grass |

spring/summer zones 1-7
shade – planting diagrams



Legend
 large flowering
 small flowering
 large grass/bush (1)



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 Architecture | Landscape | Horticulture
 10775 S. Englewood St., Suite 3
 Grand Haven, MI 49437
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 Fax: 616.455.5599
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BELLEVILLE, MI

RENOVATION OF



6280 N I-94 SERVICE DR

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